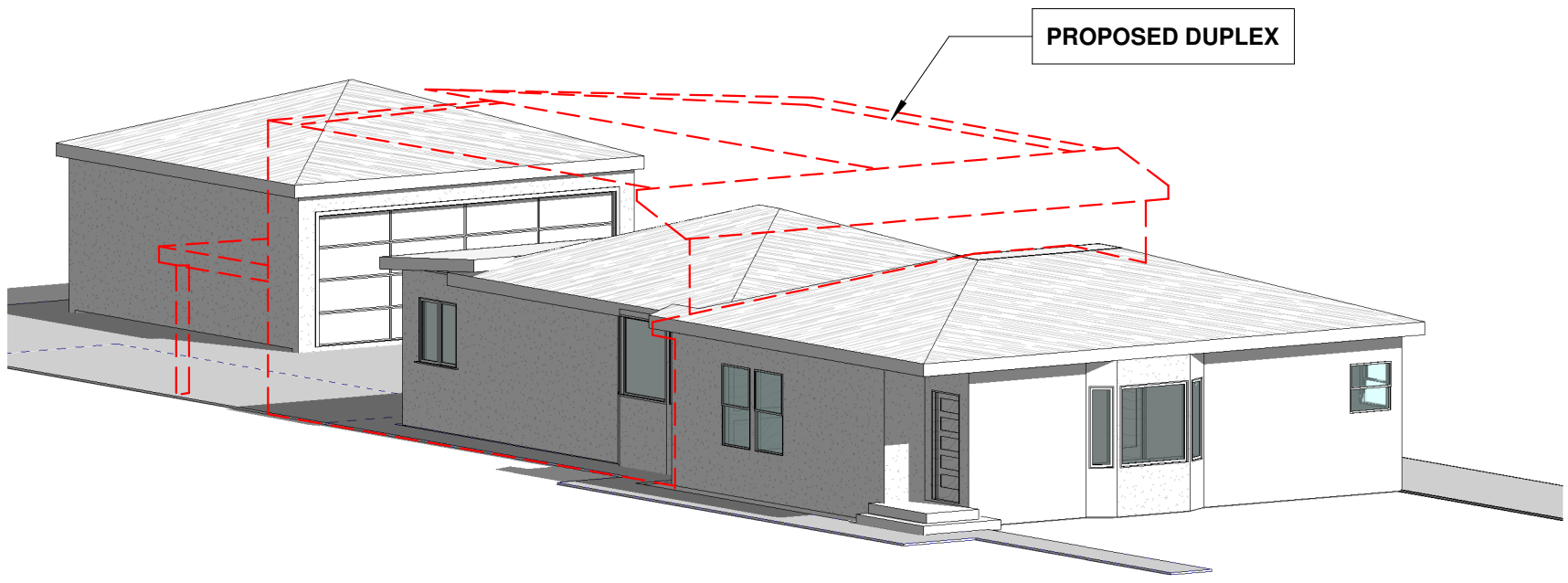


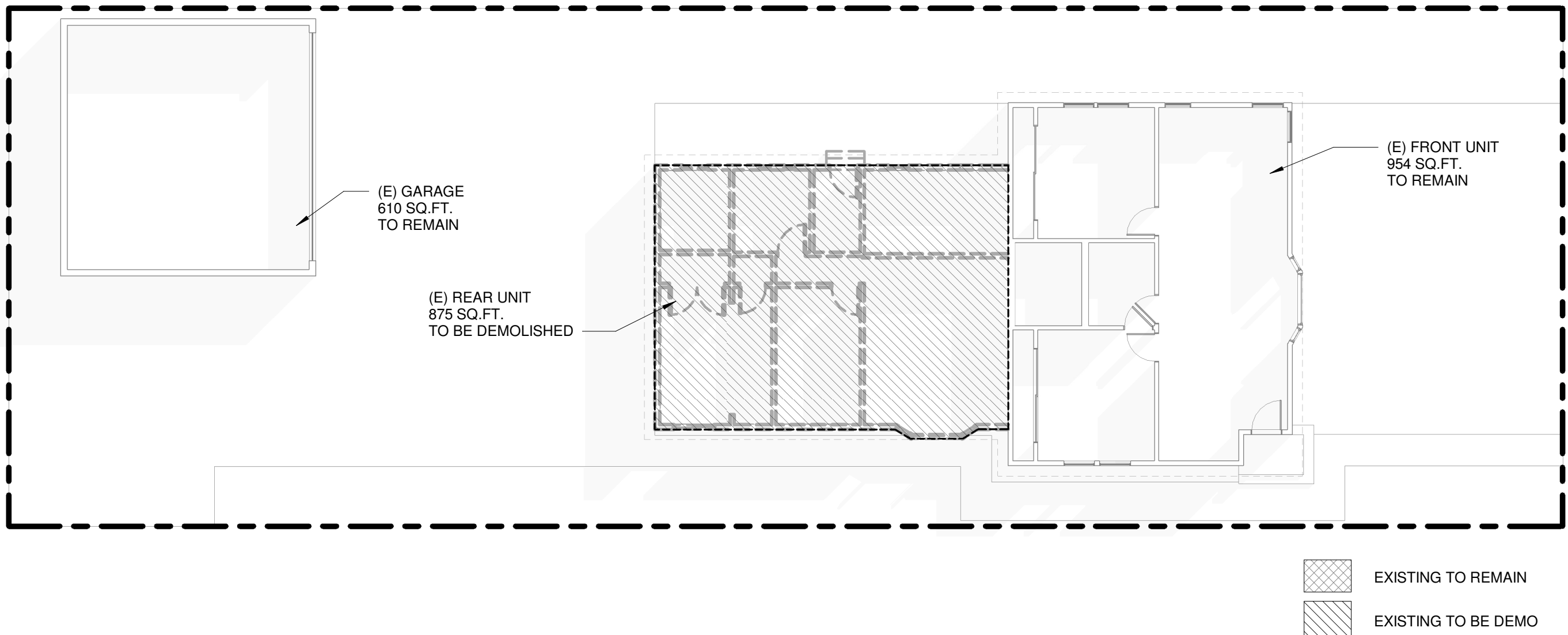
FRONT VIEW PERSPECTIVE



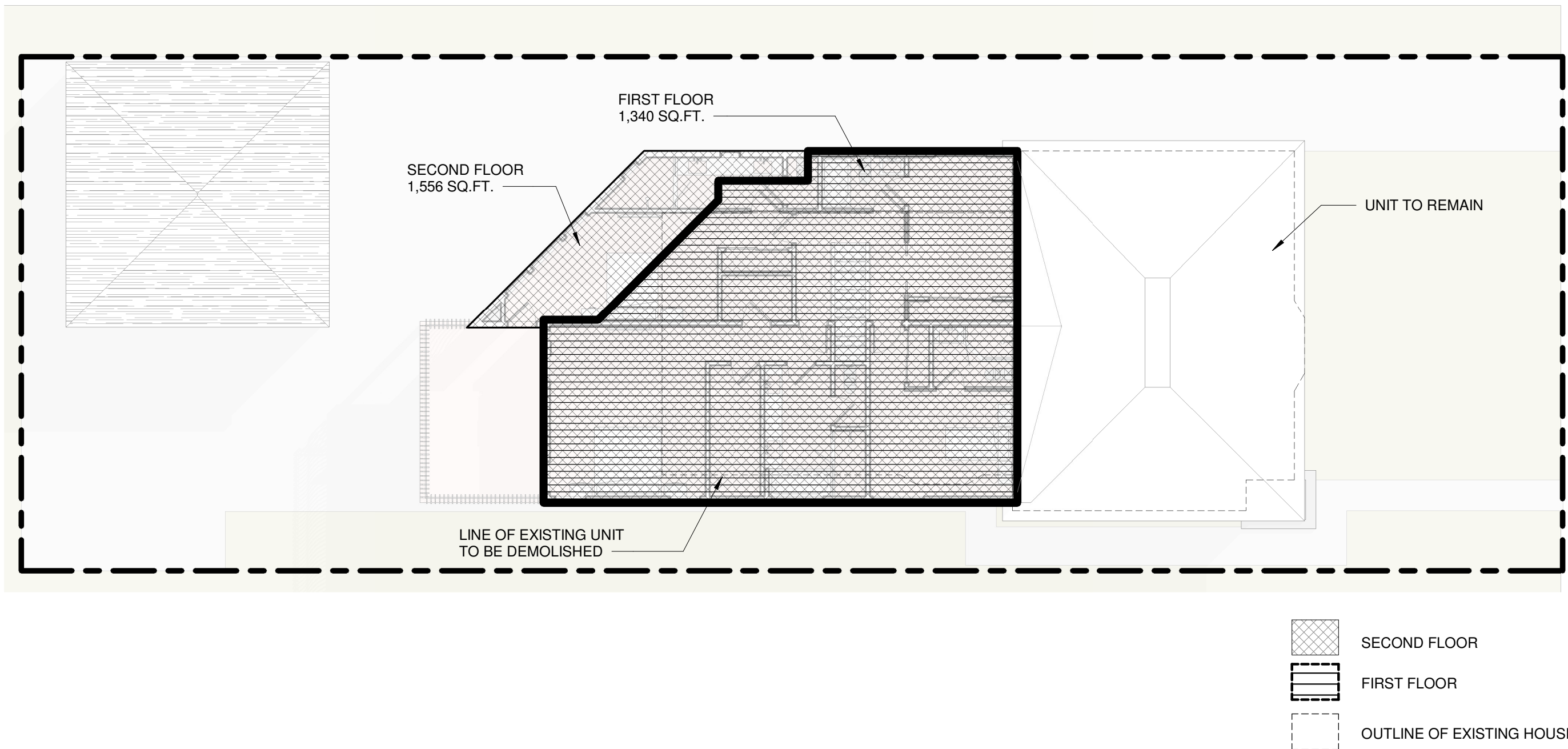
SCOPE OF WORK

DEMOLITION OF ONE STORY REAR UNIT, REPLACING WITH TWO STORY REAR UNIT SLAB ON GRADE

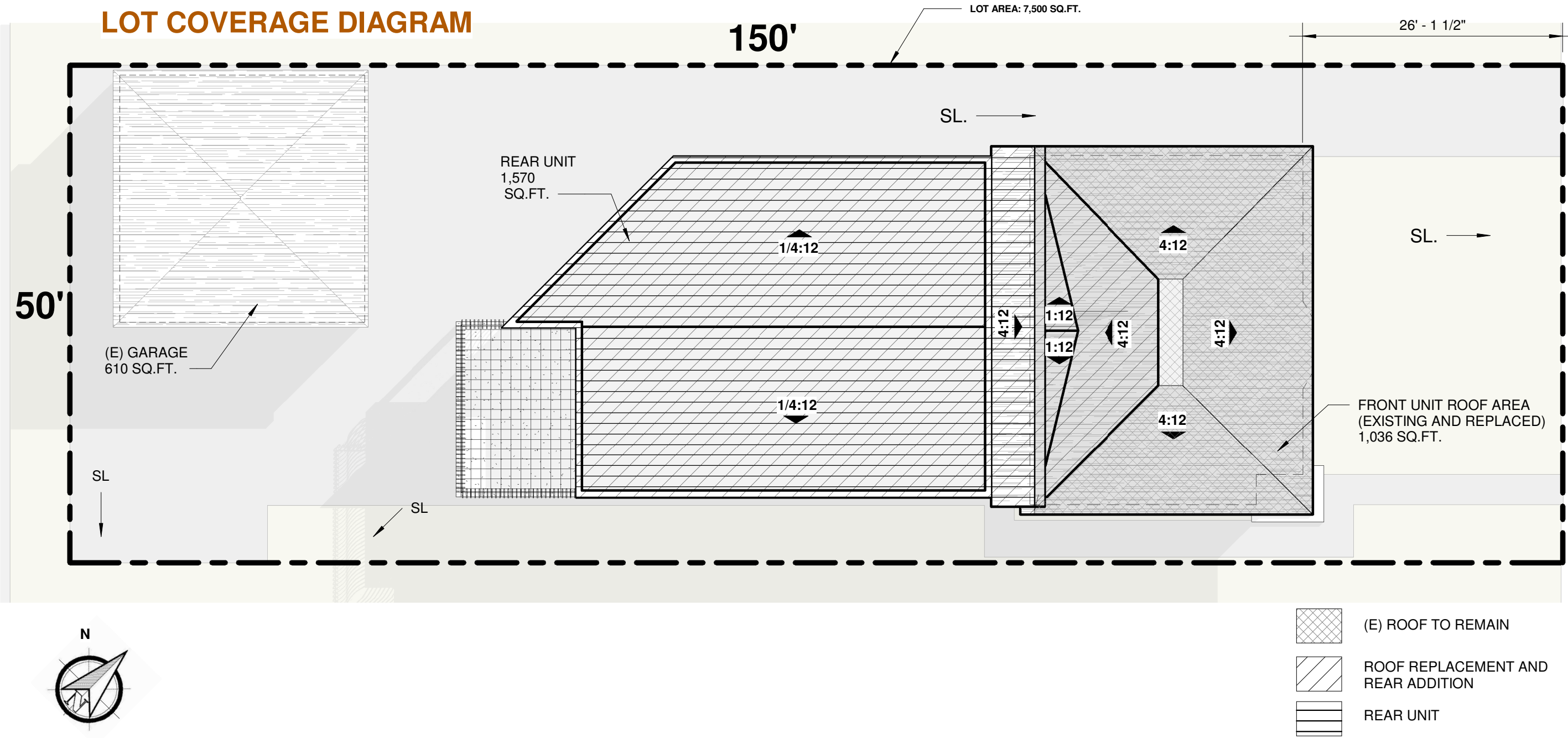
EXISTING HOUSE DIAGRAM



PROPOSED DUPLEX



LOT COVERAGE DIAGRAM



PROJECT SUMMARY

PROPERTY ADDRESS: 6526 W SAN VICENTE BLVD
LOS ANGELES, CA 90048

LEGAL DESCRIPTION: Lot 255, TR 5542, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP REFERENCE M B 59-53/57

ASSESSOR ID #: 5088010005

OWNERS: -

ZONE: R2-1-O-HPOZ

BLOCK: NONE

LOT: 255

CONSTRUCTION TYPE: V

LOT AREA: 75,00 SQ.FT.

EXISTING HEIGHT: 16'-2"

PROPOSED BLDG. HEIGHT: 18'-4"

PROJECT DATA

SITE ADDRESS: 6526 W SAN VICENTE BLVD
ZIP CODE: 90048
ASSESSOR PARCEL NO. (APN): 5088010005
TRACT: TR 5542
MAP REFERENCE: M B 59-53/57
BLOCK: NONE
LOT: 255

LOT PARCEL AREA: 7,500 SQ.FT.
BUILDING AREA (EXISTING): 1,741.32 SQ.FT.
GARAGE (EXISTING): 610.49 SQ.FT.

AREA ADDED TO EXISTING: 418.74 + 1,461 + 207 = 2,086.74 SQ.FT.



9255 SUNSET BLVD,
SUITE # 1000
WEST HOLLYWOOD, CA
90069

424.335.0150

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PROJECT DIRECTORY:

DESIGNER:

Ames Peterson Design Studio
9255 SUNSET BLVD, SUITE
1000, WEST HOLLYWOOD,
CA 90069

CLIENT:

ANN PRICE
6526 W SAN VICENTE BLVD,
LOS ANGELES, CA 90048

STRUCTURAL ENGINEER:

SYMBOLS

- (X) ELEV. LETTER
AX.X ELEV. SHEET
- (X) BLDG. SECTION NUMBER
AX.X BLDG. SECTION SHEET
- (X) DETAIL NUMBER
AX.X DIRECTION OF DETAIL
DETAIL SHEET
- (X) DETAIL NUMBER
AX.X DETAIL SHEET
- (X) DETAIL SHEET
AX.X REVISION NUMBER
- (X) BLDG. HEIGHT
AX.X REFERENCE POINT
- (X) (N) DOOR SYMBOL
(SEE SCHEDULE)
- (X) (N) WINDOW SYMBOL
(SEE SCHEDULE)
- (X) (N) WALL TYPE
- (E) EXISTING TO REMAIN
- (N) NEW
- APPROVED SMOKE DETECTOR ALARM
EQUIPPED WITH APPROVED CARBON-
MONOXIDE ALARM.
(SEE SHEET NOTE ON THIS SAME SHEET)
- REFER TO STRUCTURAL, MECHANICAL,
PLUMBING AND ELECTRICAL SHEETS
FOR SPECIFIC SYMBOLS
- EXISTING WALL TO REMAIN
- PROPOSED WALL

ENERGY STAR COMPLIANT
EXHAUST FAN TO BE DUCTED TO
TERMINATE TO THE OUTSIDE OF
THE BUILDING. NOTE: FANS, NOT
FUNCTIONING AS A COMPONENT OF
A WHOLE HOUSE VENTILATION
SYSTEM, MUST BE CONTROLLED
BY A HUMIDITY CONTROL
(SEE NOTE 25, GRN 14 FORM,
SHEET A-1.2)

REFER TO STRUCTURAL,
MECHANICAL, PLUMBING AND
ELECTRICAL SHEETS FOR
SPECIFIC SYMBOLS

ABBREVIATIONS

ADJ. ADJUSTABLE
A.F.F. ABOVE FINISH FLOOR
(D) DEMOLISH
DN. DOWN
D.S. DOWN SPOUT
(E) EXISTING
EL. ELEVATION
E.T.R. EXISTING TO REMAIN
E.P. ELECTRIC PANEL
MIN. CLR. MINIMUM REQUIRED CLEARANCE
(N) NEW
N/A NOT APPLICABLE
N.I.C. NOT IN CONTRACT
N.T.S. NOT TO SCALE
T.B.D. TO BE DETERMINED
T.O.C. TOP OF CURB
T.O.F. TOP OF FLOOR
T.O.P. TOP OF PLATE
T.S. TOP OF SLAB
F.G. FINISH GRADE
U.O.N. UNLESS OTHERWISE NOTED
U/S UNDER SIDE
V.I.F. VERIFY IN FIELD
W/ WITH
W.I.C. WALK IN CLOSET

VICINITY MAP



Project Address & Owners:

Residence

6526 SAN VICENTE BLVD,
LOS ANGELES CA 90048

DATE PRINTED: BENCHMARK:

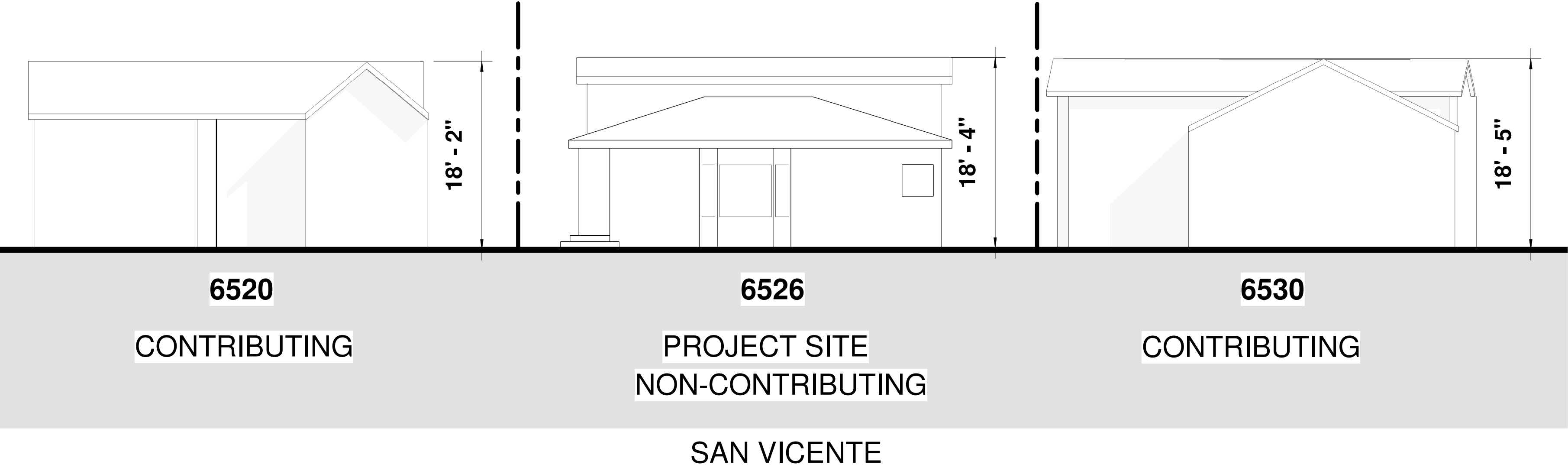
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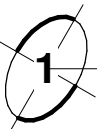
COVER SHEET

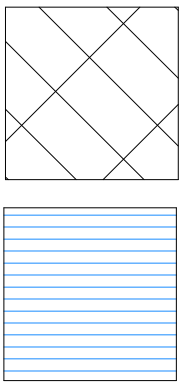
SCALE: As indicated

SHEET NO:

A-0.0



 **HEIGHT ANALYSIS**
SCALE: 1/8" = 1'-0"



NON-CONTRIBUTING

CONTRIBUTING

*** TWO- STORY**

☉ OVER 20 FT. SINGLE STORY



PRINTED DATE:
2/19/2018 1:44:05 PM

Benchmarks :

SCHEMATIC DESIGN C xx/xx/20xx

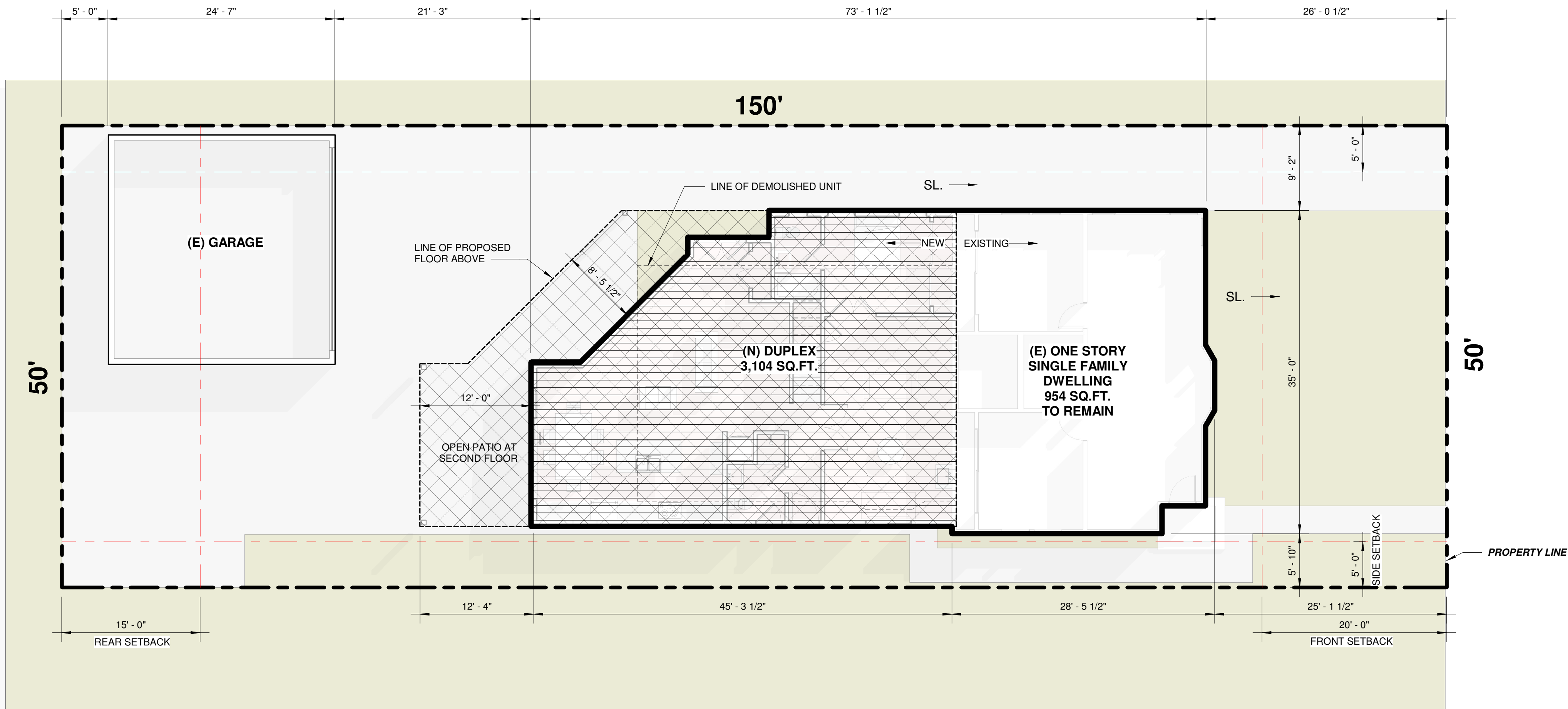
SHEET TITLE :

**SITE PHOTO
KEY PLAN/
HEIGHT
ANALYSIS**

SCALE :
As indicated

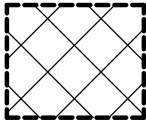
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A-0.1

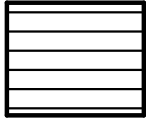


SAN VICENTE BLVD

HATCH LEGEND



PROPOSED
SECOND FLOOR



PROPOSED
FIRST FLOOR

1 SITE PLAN
SCALE: 1/8" = 1'-0"



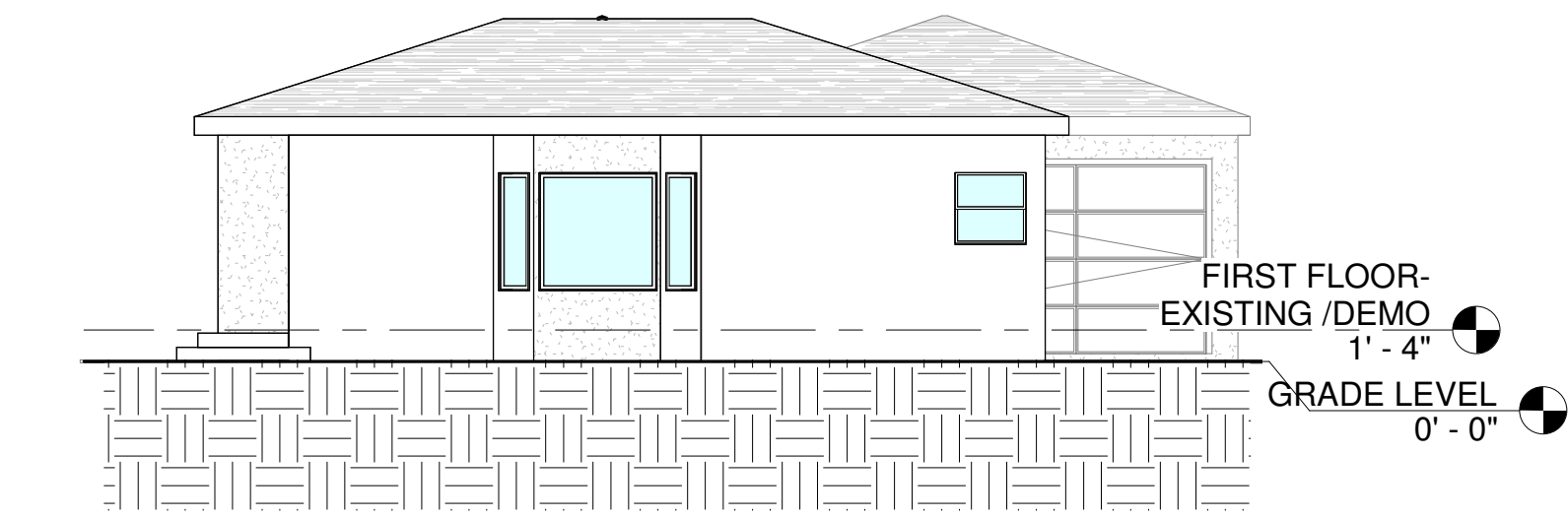
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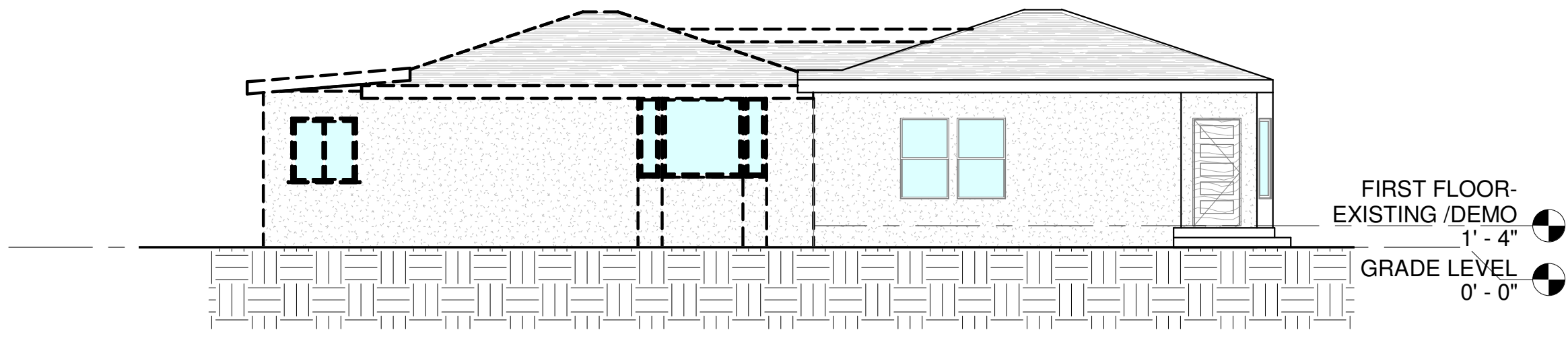
SHEET TITLE :
SITE PLAN

SCALE :
As indicated
SHEET NO:

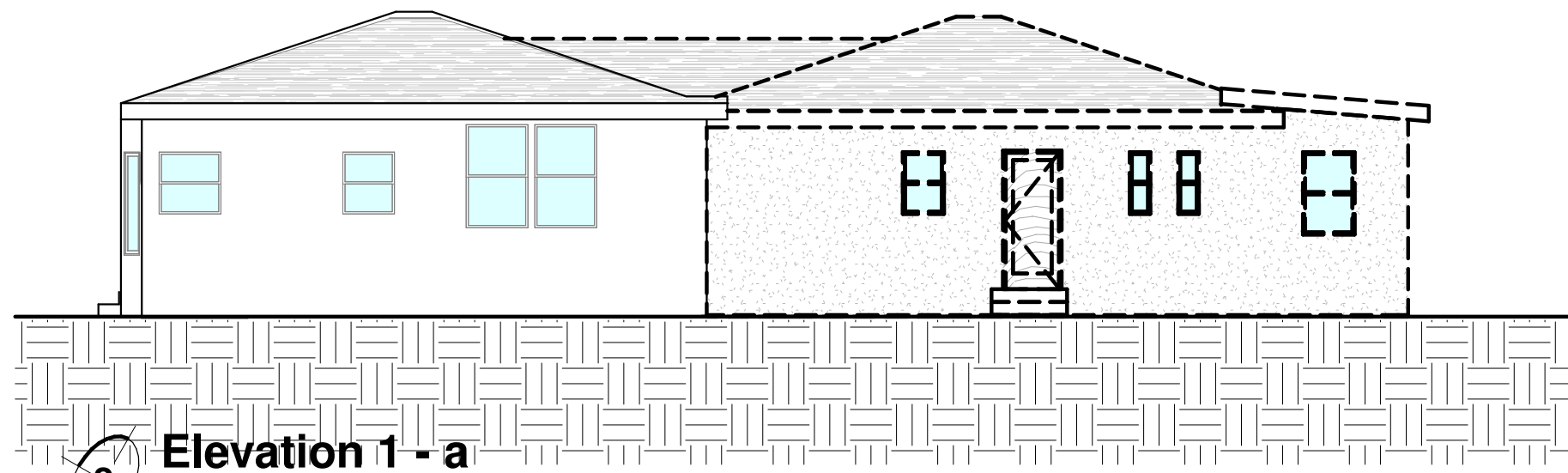
A-1.0



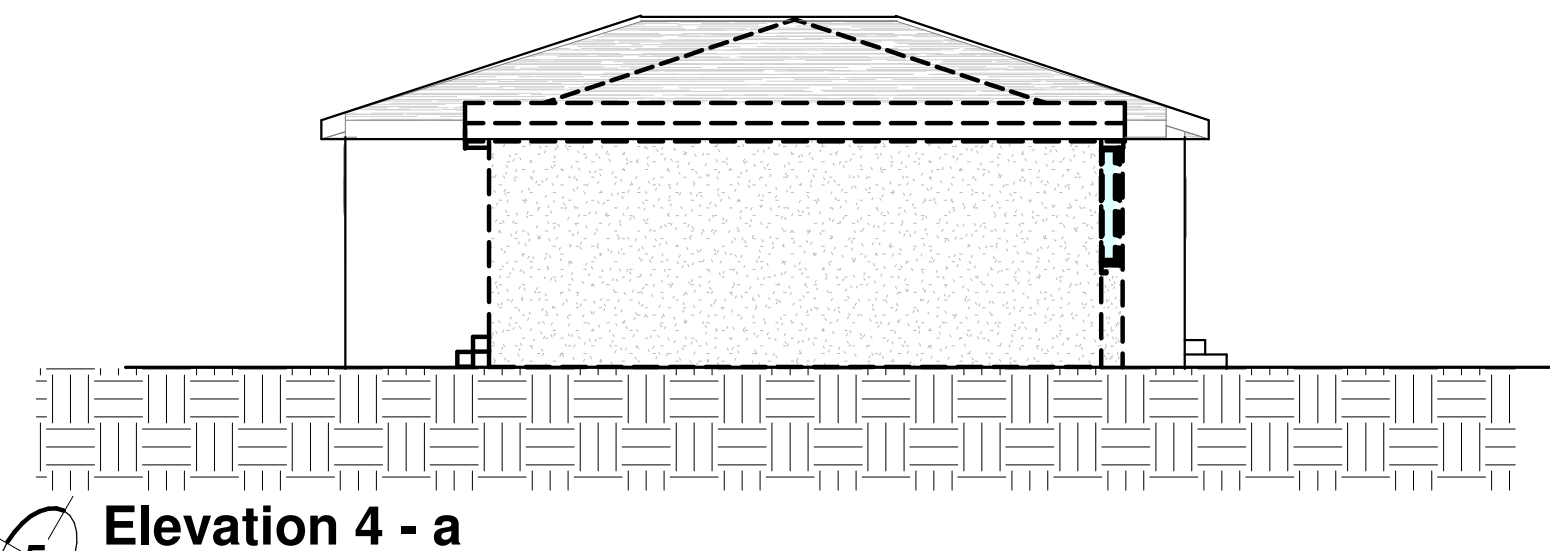
Elevation 2 - a
SCALE: 1/8" = 1'-0"



Elevation 3 - a
SCALE: 1/8" = 1'-0"



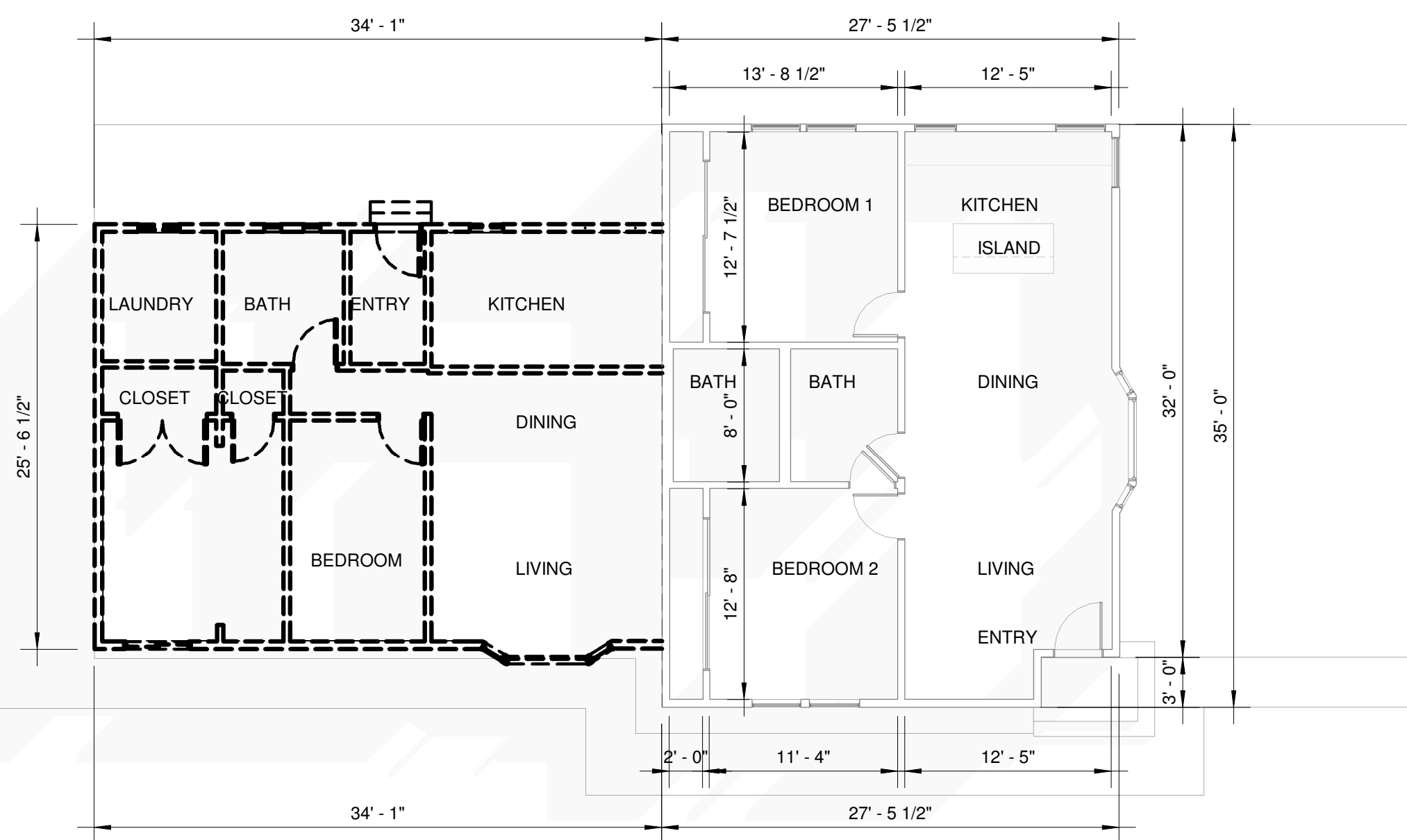
Elevation 1 - a
SCALE: 1/8" = 1'-0"



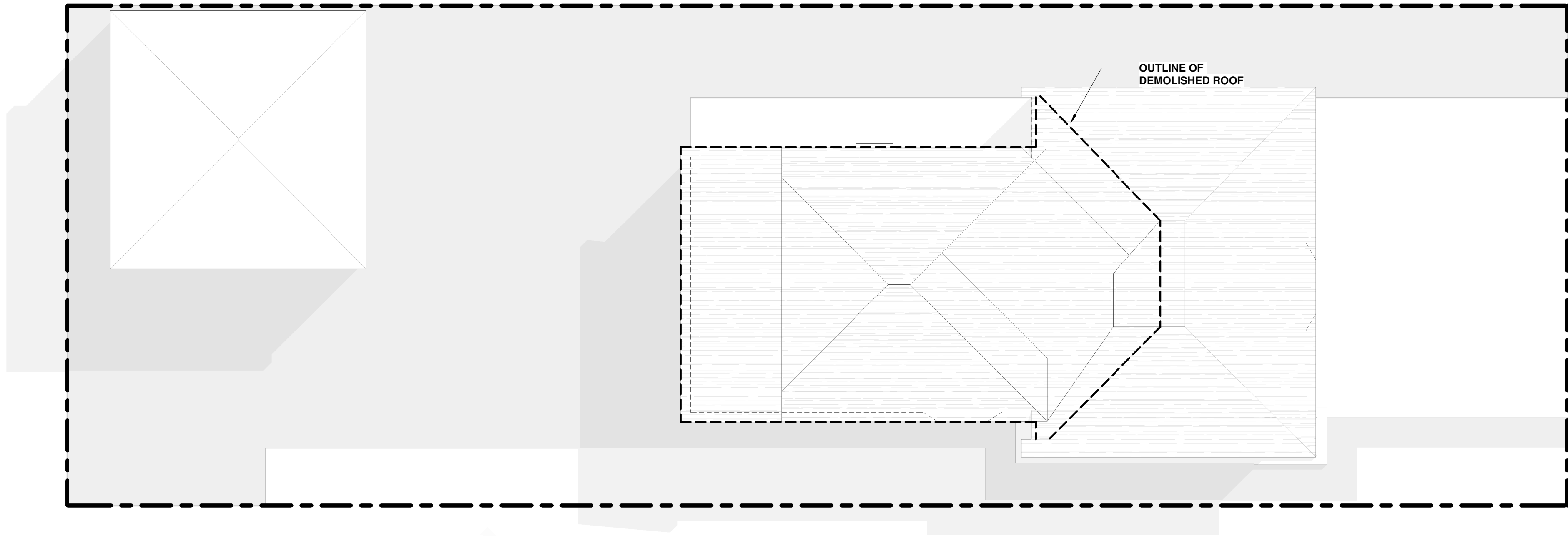
Elevation 4 - a
SCALE: 1/8" = 1'-0"

SYMBOLS

--- DEMO DOOR / WINDOW / CABINETRY
— EXISTING TO REMAIN



FIRST FLOOR- EXISTING / DEMO
SCALE: 1/8" = 1'-0"



DEMO - ROOF PLAN
SCALE: 1/8" = 1'-0"

PRINTED DATE:

2/19/2018 1:44:09 PM

Benchmarks :

SCHEMATIC DESIGN C xx/xx/20xx

SHEET TITLE :

**EXISTING /
DEMO PLAN**

SCALE :

As indicated

SHEET NO:

A-1.1

FLOOR PLAN GENERAL NOTES

FOR GENERAL NOTES REFER TO A-0.1 SHEETS

FOR SITE PLAN REFER TO SHEET A-1.0

FOR SYMBOLS AND ABBREVIATIONS SEE SHEET A-0

IF A DOOR / WINDOWS DOES NOT HAVE A LETTER / NUMBER, IT IS AN EXISTING DOOR / WINDOW TO REMAIN.

ALL DIMENSIONS ARE TO FINISHED FACE OTHERWISE NOTED. GENERAL CONTRACTOR SHOULD INFORM DESIGNER IMMEDIATELY TO ANY DISREPARANCY.

APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM AND BE INTERCONNECTED SO ONE ALARM ACTIVATES ALL THE ALARMS IN THE HOUSE AND SHOULD RECEIVE THEIR POWER SOURCE FROM THE BUILDING WIRING WITH A BATTERY BACK UP AND LOW BATTERY SIGNAL. THIS DEVICE SHOULD ALSO BE AN APPROVED CARBON MONOXIDE DETECTOR. (R314 AND R315)

CARBON MONOXIDE ALARM IS REQUIRED PER (SEC.420.6, R315)

120V SINGLE PHASE, 15-20 AMP RECEPTACLES IN BATHROOM, KITCHEN OR OTHER COUNTER TOPS WITHIN 6' OF A SINK, GARAGE OUTLETS, OR OUTLETS AT EXPOSED CONCRETE FLOORS AND OUTDOOR RECEPTACLES SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER (GFI) PROTECTION.

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

24" CLEAR IN FRONT OF TOILETS AND PROVIDE 15" MIN. DISTANCE BETWEEN CENTER OF TOILET AND ANY ADJACENT WALL OR CABINET.

NEW EXHAUST FAN OVER TOILET: PANASONIC FV-11VQS WhisperCeling Fan-Quiet. (See specs on A-0.2 and notes on symbol)

W.P. GFI PLUG ABOVE COUNTER

PROVIDE ONE 120V AC 20 AMP AND ONE 208/240V 40 AMP, GROUNDED AC OUTLET FOR EACH REQUIRED PARKING, OR PROVIDE ELECTRICAL PANEL CAPACITY FOR ONE 120V AC 20 AMP AND ONE 208/240V AMP, GROUNDED AC OUTLET

SYMBOLS

- NEW WALLS
- EXISTING WALLS TO REMAIN
- DOWNSPOUTS

REFER TO SHEET A-1.0 FOR RAIN DISTRIBUTION INTO RAIN BARRELS
- ENERGY STAR COMPLIANT EXHAUST FAN TO BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. NOTE: FANS, NOT FUCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. (SEE NOTE 25, GRN 14 FORM, SHEET A-1.2)
- APPROVED SMOKE DETECTOR ALARM

EQUIPPED WITH APPROVED CARBON-MONOXIDE ALARM.

(SEE SHEET NOTE ON THIS SAME SHEET)
- 24" CLEAR INFRONT OF TOILETS

15" MIN DISTANCE BETWEEN CENTER OF TOILET AND ANY ADJACENT WALL OR CABINET.
- CHANGE OF ELEVATION

W.P.GFI PLUG ABOVE COUNTER
- FLOOR LEVEL SYMBOL
- PROPERTY LINE
- (E)

EXISTING TO REMAIN

KEYNOTES

- 01

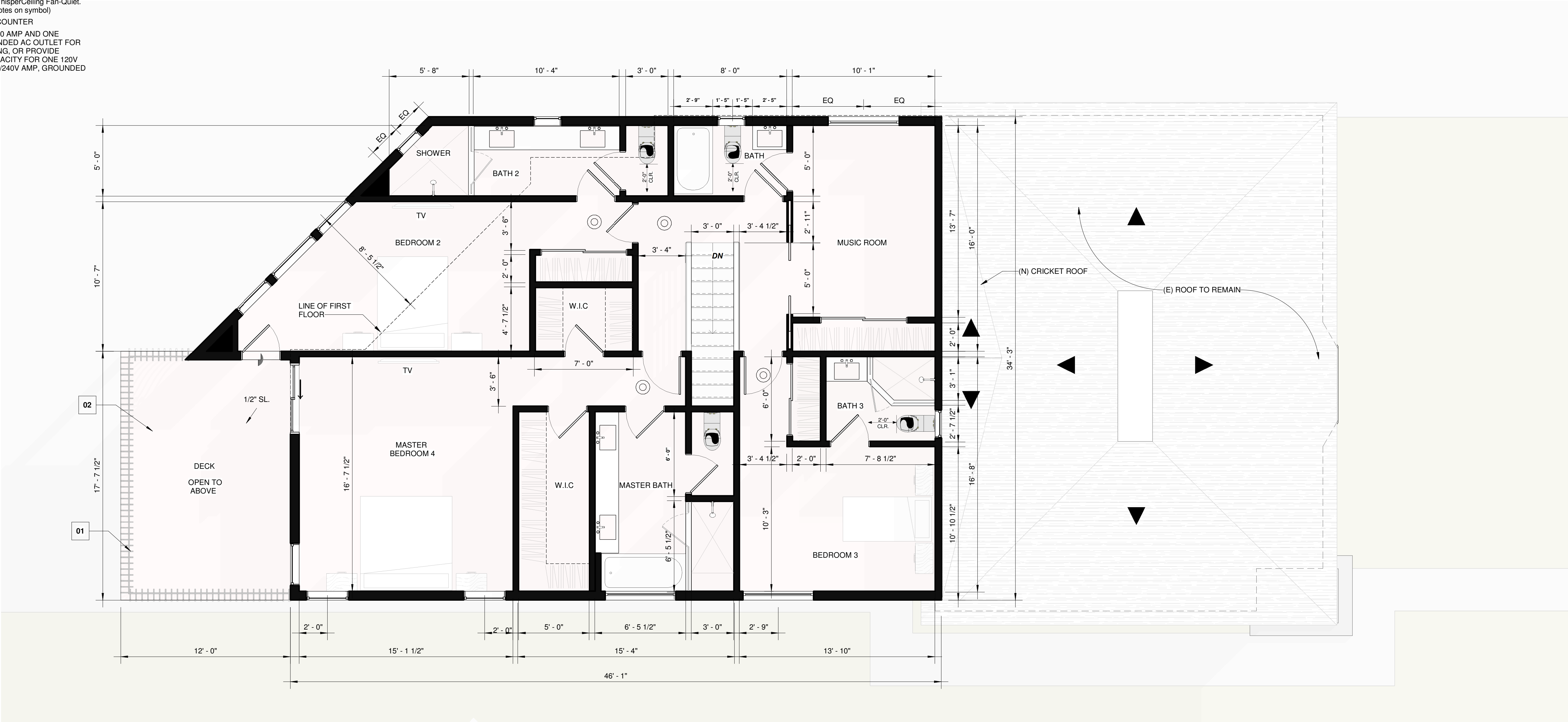
42" HIGH RAILING METAL EXTERIOR
- 02

DECKING - WATER PROOFING SPECS ON SHEET...
- 03

GRASS / LANDSCAPED AREA
- 04

EXISTING WALKWAY
- 05

PROPOSED PEREMEABLE PAVERS



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"



6528 SAN VICENTE BLVD.

Ames Peterson

INTERNATIONAL ARCHITECTURE & INTERIOR DESIGN

190 N GARDEN DR, BEVERLY HILLS, CA

9255 SUNSET BLVD,
SUITE # 1000
WEST HOLLYWOOD, CA
90069

424.335.0150

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PROJECT DIRECTORY:

DESIGNER:

Ames Peterson Design Studio
9255 SUNSET BLVD, SUITE
1000, WEST HOLLYWOOD,
CA 90069

CLIENT:

ANN PRICE
6526 W SAN VICENTE BLVD,
LOS ANGELES, CA 90048

STRUCTURAL ENGINEER:

Project Address & Owners:

Residence
6526 SAN VICENTE BLVD,
LOS ANGELES CA 90048

DATE PRINTED:	BENCHMARK:

SHEET TITLE :
SECOND FLOOR

SCALE :
As indicated

SHEET NO:
A-2.2

DESIGNER:
Ames Peterson Design Studio
190 N. Canon Drive Suite 313
Beverly Hills, CA 90210
424.335.0150

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ROOF PLAN GENERAL NOTES

CLASS 'A' ROOFING:

ROOFING MATERIAL SHALL HAVE A MIN. 3-YEAR AGED SOLAR REFLECTANCE AND THERMAL EMMITTANCE OR A MIN. SOLAR REFLECTANCE AND THERMAL EMMITTANCE OR A MIN SOLAR REFLECTANCE INDEX (SRI) EQUAL TO OR GREATER THAN THE VALUES SPECIFIED IN TABLE A4.106.5.1(1) AND A4.106.5.1(2) FOR LOW RISE RESIDENTIAL BUILDINGS

1) Roof / Attic vents shall meet the following: (R806.1 , R806.2). The net free ventilation area shall not be less than 1/150 of the attic space or 1/300 provided a Class I or II vapor barrier is installed on the warm side of ceiling or 1/300 provided at least 50% and not more than 80% of the required ventilation area must be located at least 3 feet above eave or cornice vents with the balance provided by eave or cornice vents. Openings shall have corrosion-resistant wire mesh or other approved material with 1/16-in min. and 1/4" maximum opening. A min. of 1" airspace shall be provided between insulation and roof sheathing. Unvented attic assemblies shall meet all the conditions in Section R806.5

2) All insulation materials shall be certified by manufacturer as complying with the California quality standards for insulation material. Doors and windows between conditioned and unconditioned space shall be full weather stripped.

3) EXTERIOR PORCH CEILINGS / FLOOR PROJECTIONS / UNDERFLOOR PROTECTION, OPEN ROOF EAVES, ENCLOSED ROOF EAVES, ROOF EAVES SOFFITS AND EXPOSED UNDERSIDE OFF APPENDAGES SHALL HAVE AN EXTRA LAYER OF 5/8" TYPE 'X' GYPSUM BOARD.

KEYNOTES

01 (N) ASPHALT SHINGLE ROOF CLASS 'A' WITH COOL ROOF
ICC REPORT: ESR. 1389 find report on (SHEET A-6.0)
MANUFACTURER: CERTAIN TEED CORPORATION
PROJECT: CERTAIN TEED ASPHALT SHINGLES
(PRESIDENTIAL SHINGLES, COLOR: AGED BARK, AGED SRI:23
AGED SOLAR REFLECTANCE: 0.23, AGED THERMAL EMITTANCE:0.90

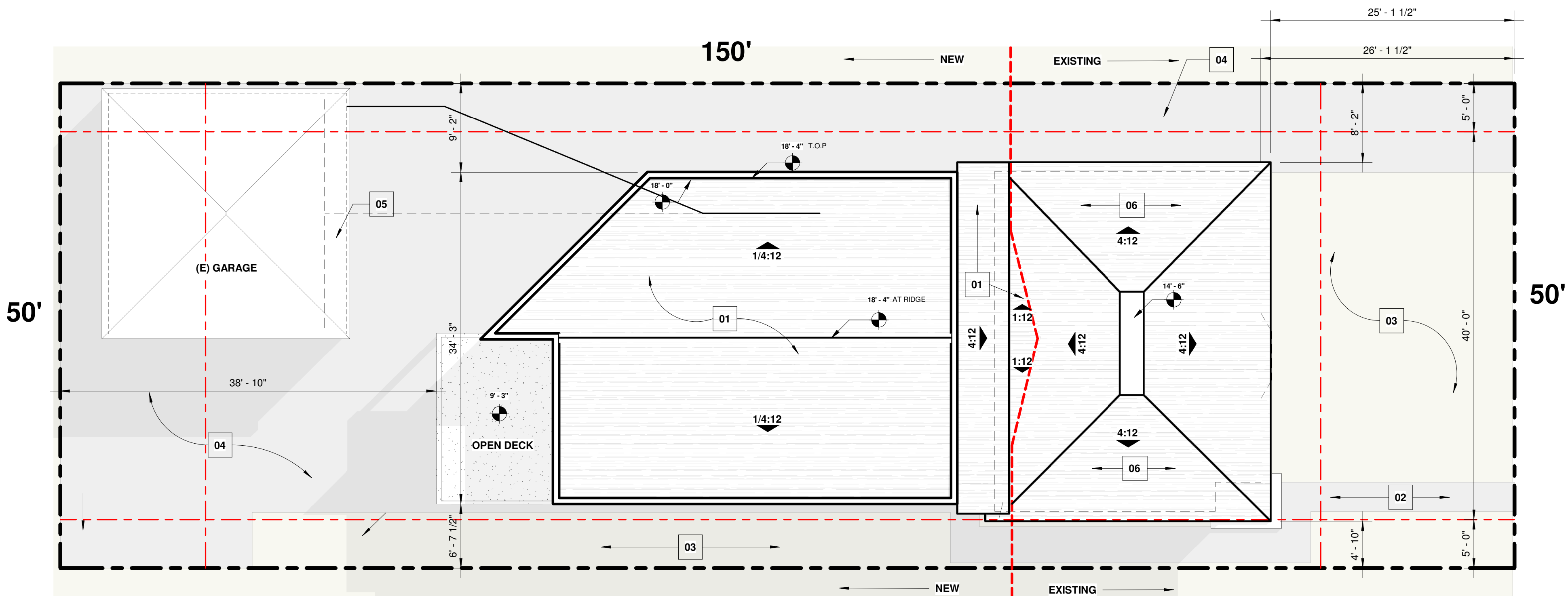
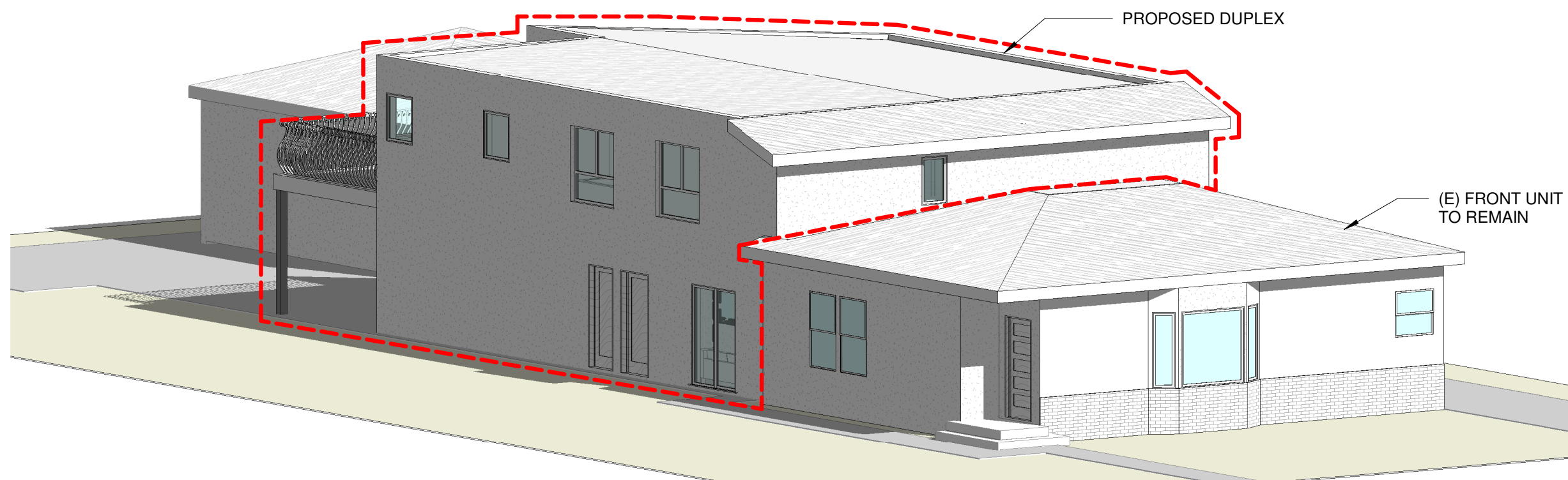
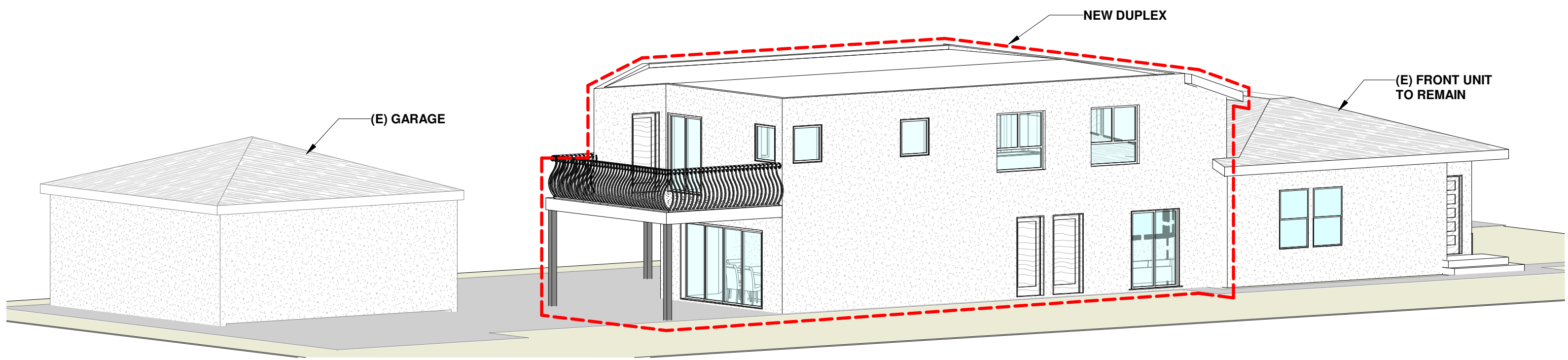
02 CONCRETE WALKWAY

03 (E) LANDSCAPE AREA

04 (E) DRIVEWAY

05 (E) COVERED 2 CAR GARAGE

06 (E) ROOF



1 ROOF PLAN
SCALE: 1/8" = 1'-0"



SAN VICENTE BLVD.

6528 SAN VICENTE BLVD.

PRINTED DATE:
2/19/2018 1:44:21 PM
Benchmarks :

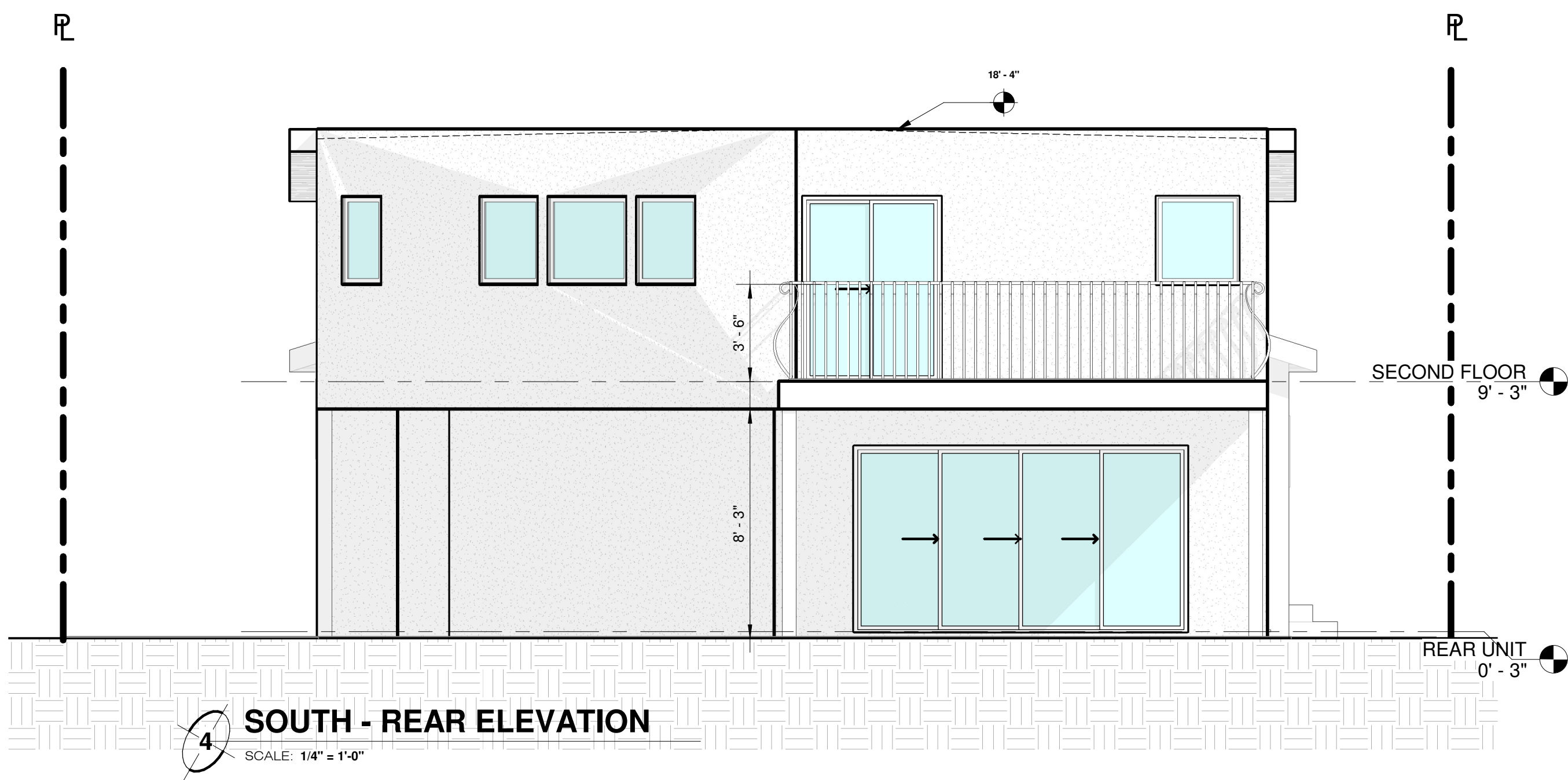
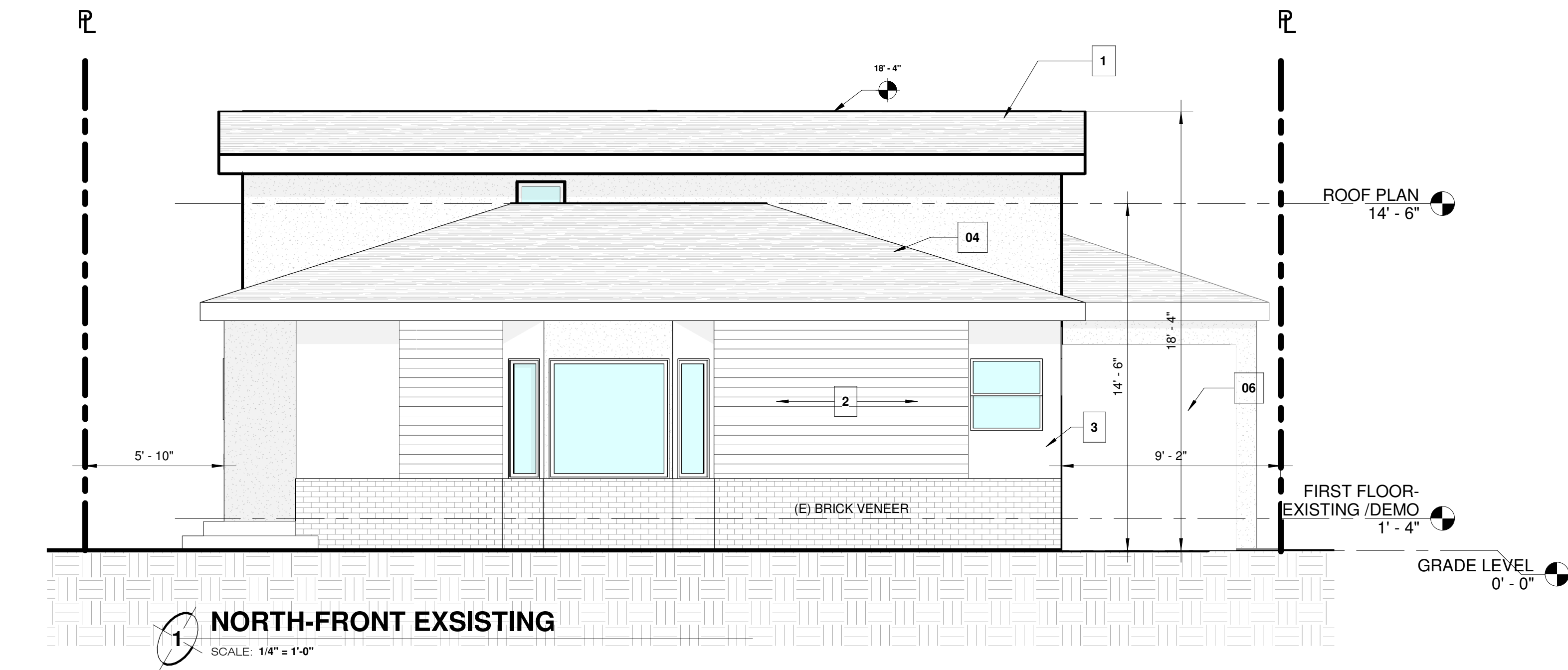
SCHEMATIC DESIGN C xx/xx/20xx

SHEET TITLE :

SITE/ ROOF
PLAN

SCALE :
As indicated
SHEET NO:

A-2.3



- ELEVATION / SECTION
KEYNOTES**
- 01 NEW 4:12 PITCH ASPHALT SHINGLE ROOF
 - 02 EXISTING REDWOOD PLANKS
 - 03 EXISTING STUCCO TO REMAIN
 - 04 EXISTING ASPHALT SHINGLE ROOF
 - 05 EXISTING ROOF STRUCTURE TO REMAIN
 - 06 EXISTING GARAGE GATE



9255 SUNSET BLVD,
SUITE # 1000
WEST HOLLYWOOD, CA
90069
424.335.0150

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conclusive evidence of acceptance of these restrictions.

PROJECT DIRECTORY:

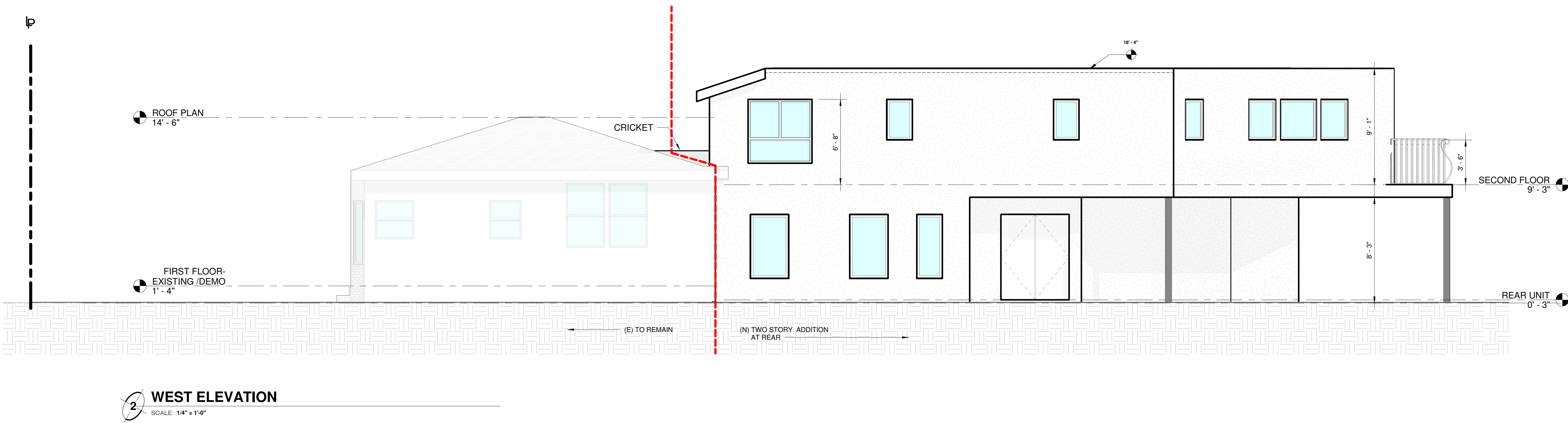
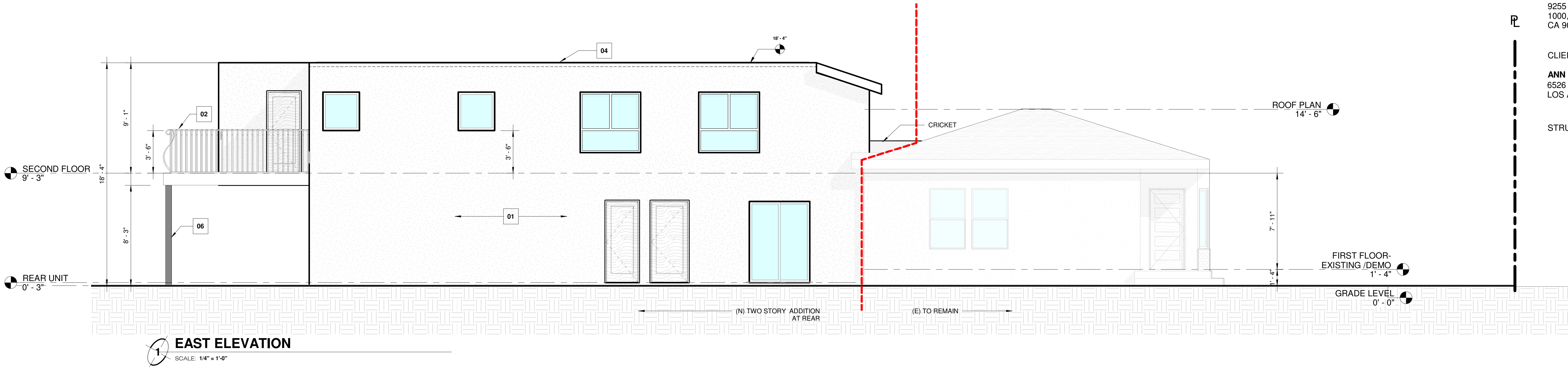
DESIGNER:

Ames Peterson Design Studio
9255 SUNSET BLVD, SUITE
1000, WEST HOLLYWOOD,
CA 90069

CLIENT:

ANN PRICE
6526 W SAN VICENTE BLVD,
LOS ANGELES, CA 90048

STRUCTURAL ENGINEER:



Project Address & Owners:

Residence
6526 SAN VICENTE BLVD,
LOS ANGELES CA 90048

DATE PRINTED: BENCHMARK:

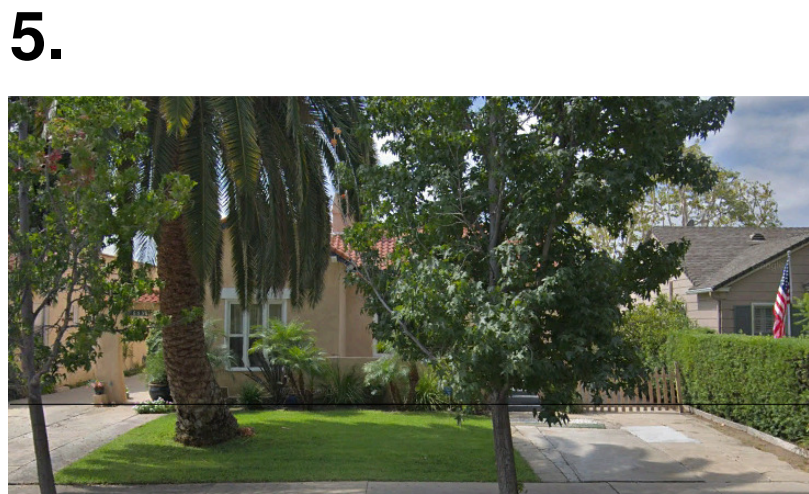
SHEET TITLE:

EAST AND WEST

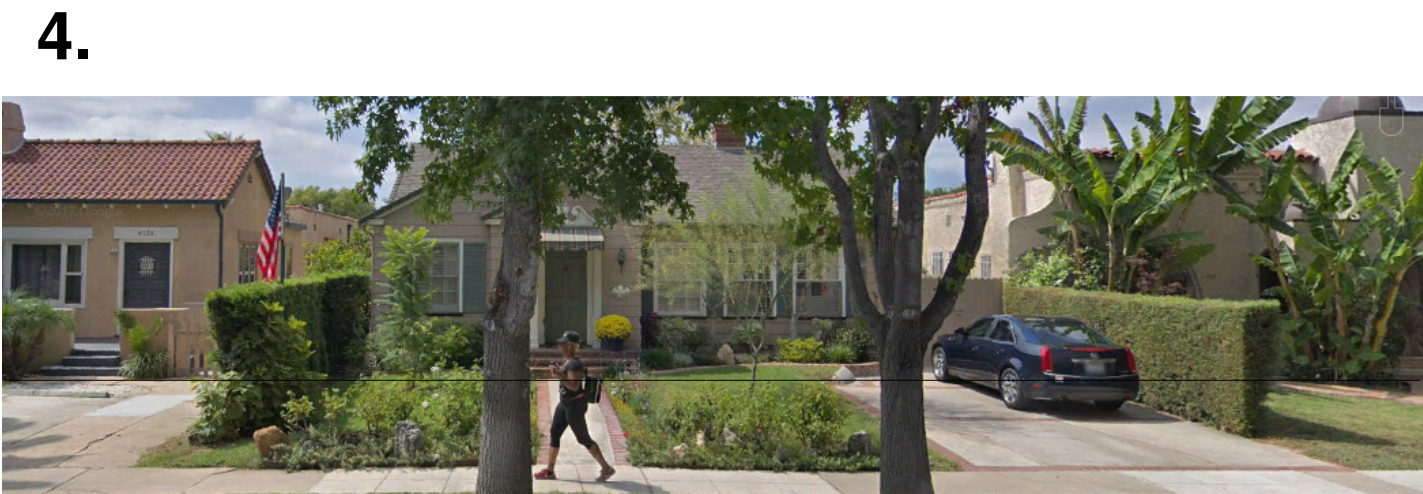
SCALE: 1/4" = 1'-0"

SHEET NO:

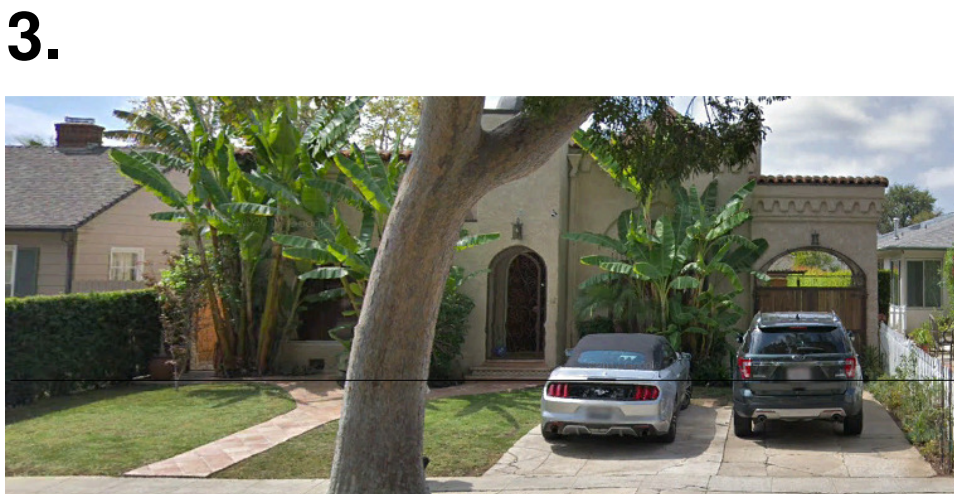
A-3.1

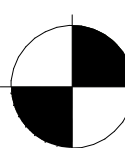


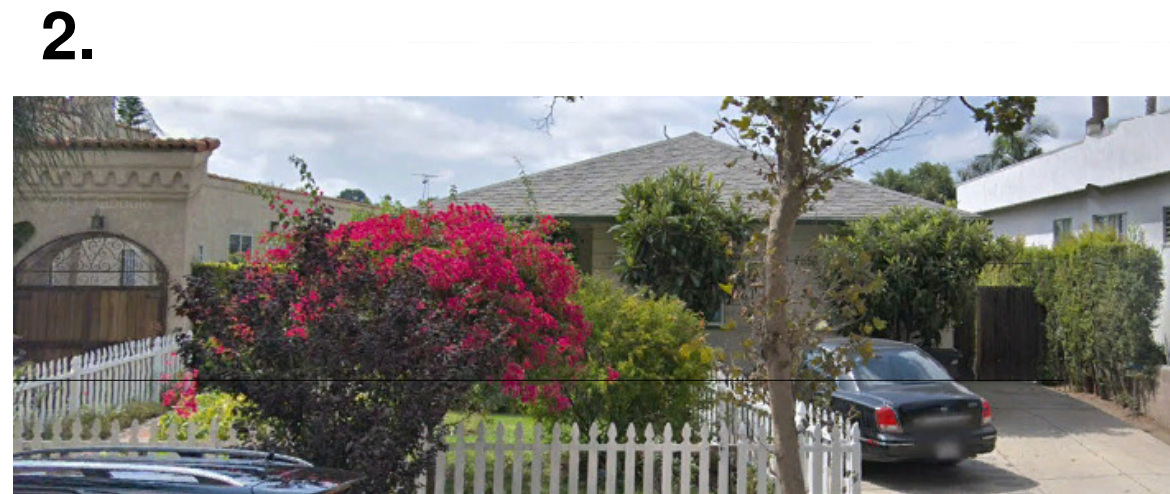
6536-6538
CONTRIBUTING
LOT COVERAGE: 39% -
SETBACK: 26'
#OF STORIES:1 - APPROX.
HEIGHT: 18.4 '

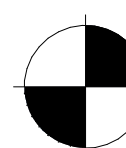


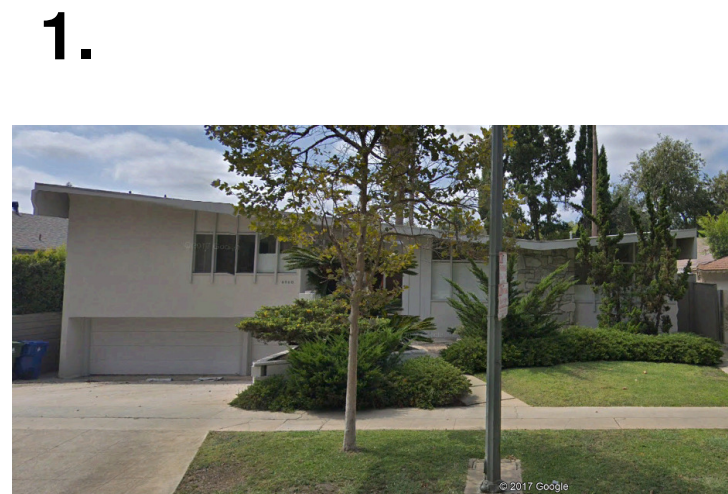
6546
CONTRIBUTING
LOT COVERAGE: 32% -
SETBACK: 24.7'
#OF STORIES:1 - APPROX.
HEIGHT: 19.73 '



 **6550-52**
CONTRIBUTING
LOT COVERAGE: 42% -
SETBACK: 26'
#OF STORIES:1 - APPROX.
HEIGHT: 22.82 '

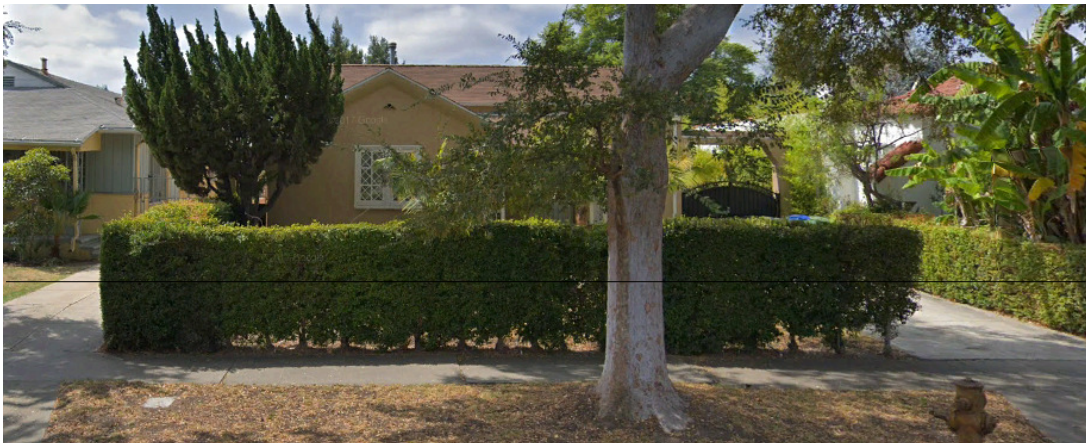


 **6556-58**
NON-CONTRIBUTING
LOT COVERAGE: 50% -
SETBACK: 24'
#OF STORIES:1 - APPROX.
HEIGHT: 20.58 '



6560-62
6560 SAN VICENTE BLVD.
NON-CONTRIBUTING
LOT COVERAGE: 55% -
SETBACK: 23'
#OF STORIES:1 - APPROX.
HEIGHT: 16.38 '

10



6508
CONTRIBUTING
LOT COVERAGE: 38% -
SETBACK: 24.5'
#OF STORIES:1 - APPROX.
HEIGHT: 17.67 '

9.



6514
CONTRIBUTING
LOT COVERAGE: 36% -
SETBACK: 24.6'
#OF STORIES:1 - APPROX.
HEIGHT: 16.19 '

8.



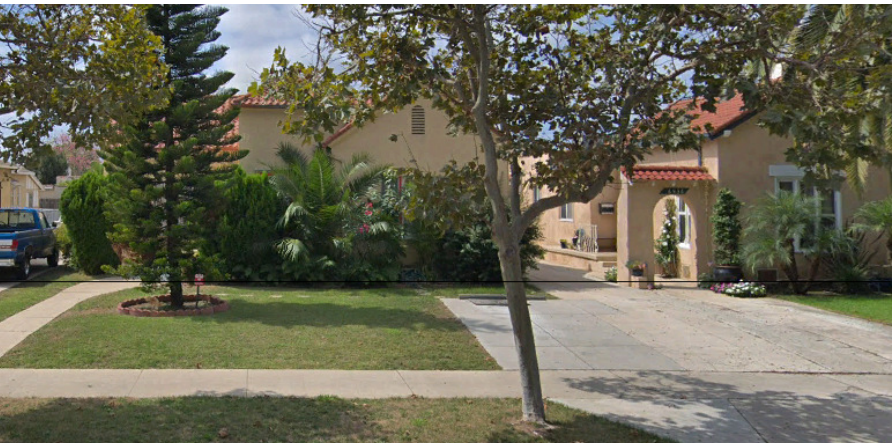
6520
CONTRIBUTING
LOT COVERAGE: 28% -
SETBACK: 25'
#OF STORIES:1 - APPROX.
HEIGHT: 18.18 '

7. PROJECT SITE

6526-28

NON-CONTRIBUTING
LOT COVERAGE: 29% -
SETBACK: 25.5'
#OF STORIES:1 - APPROX.
HEIGHT: 16.21 '

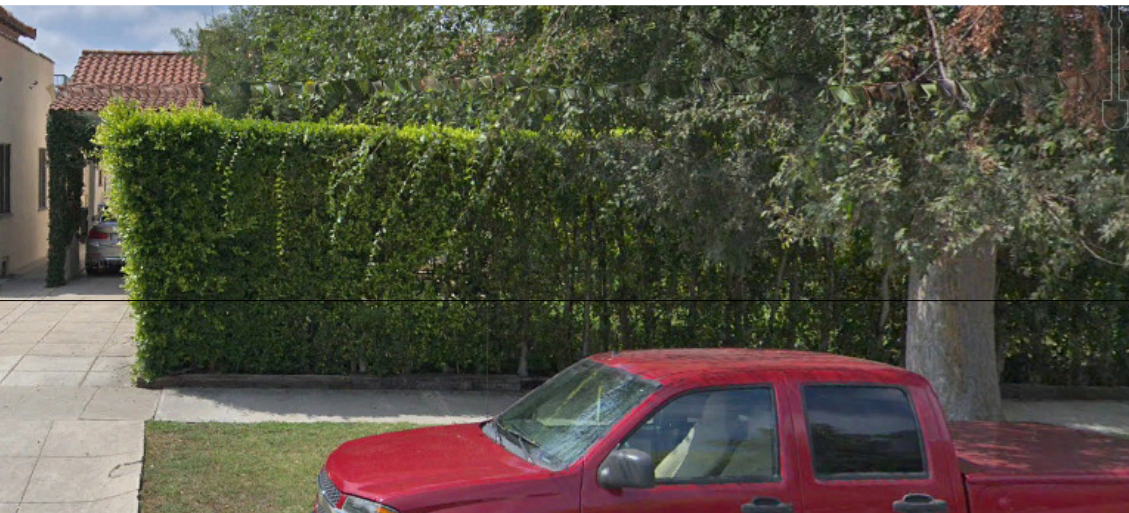
6.

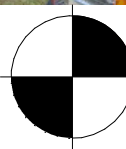


6530

CONTRIBUTING
LOT COVERAGE: 38% -
SETBACK: 30.5'
#OF STORIES:1 - APPROX.
HEIGHT: 18.4 '

16.



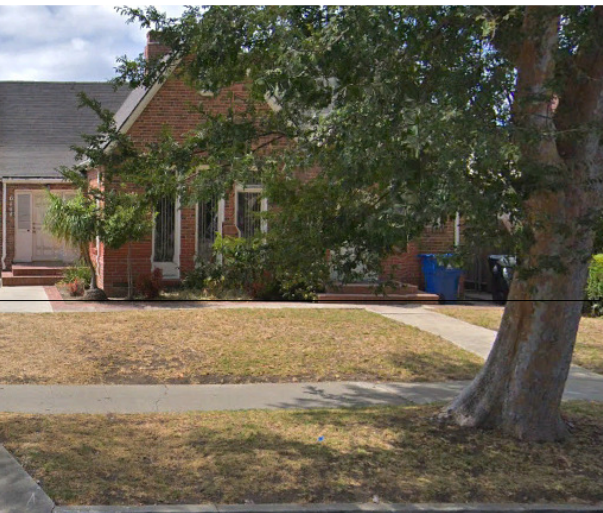
 **6434-36**
CONTRIBUTING
LOT COVERAGE: 40% -
SETBACK: 24.5'
#OF STORIES:1 - APPROX.
HEIGHT: 21.16'


15.



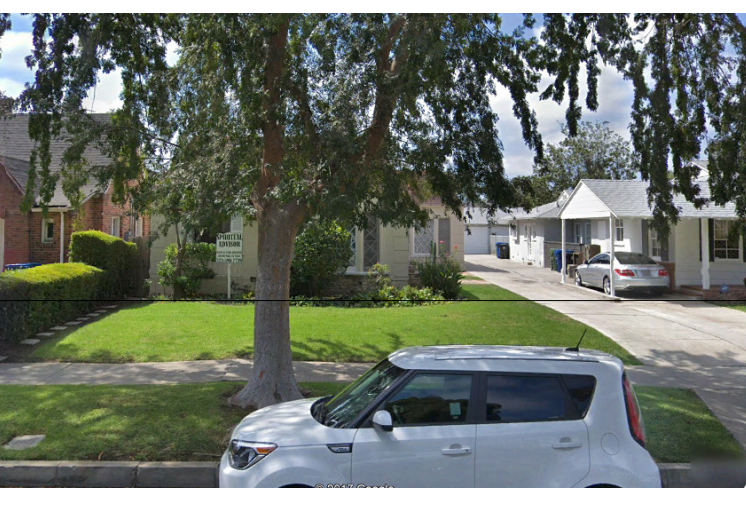
* **6440-42**
CONTRIBUTING
LOT COVERAGE: 48% -
SETBACK: 26.5'
#OF STORIES:2 - APPROX.
HEIGHT: 27.67'

14.



 **6444-46**
CONTRIBUTING
LOT COVERAGE: 45% -
SETBACK: 25.7'
#OF STORIES:1 - APPROX.
HEIGHT: 24.55'

13.



6452-54-56
CONTRIBUTING
LOT COVERAGE: 41% -
SETBACK: 25'
#OF STORIES:1 - APPROX.
HEIGHT: 13.71'

12.



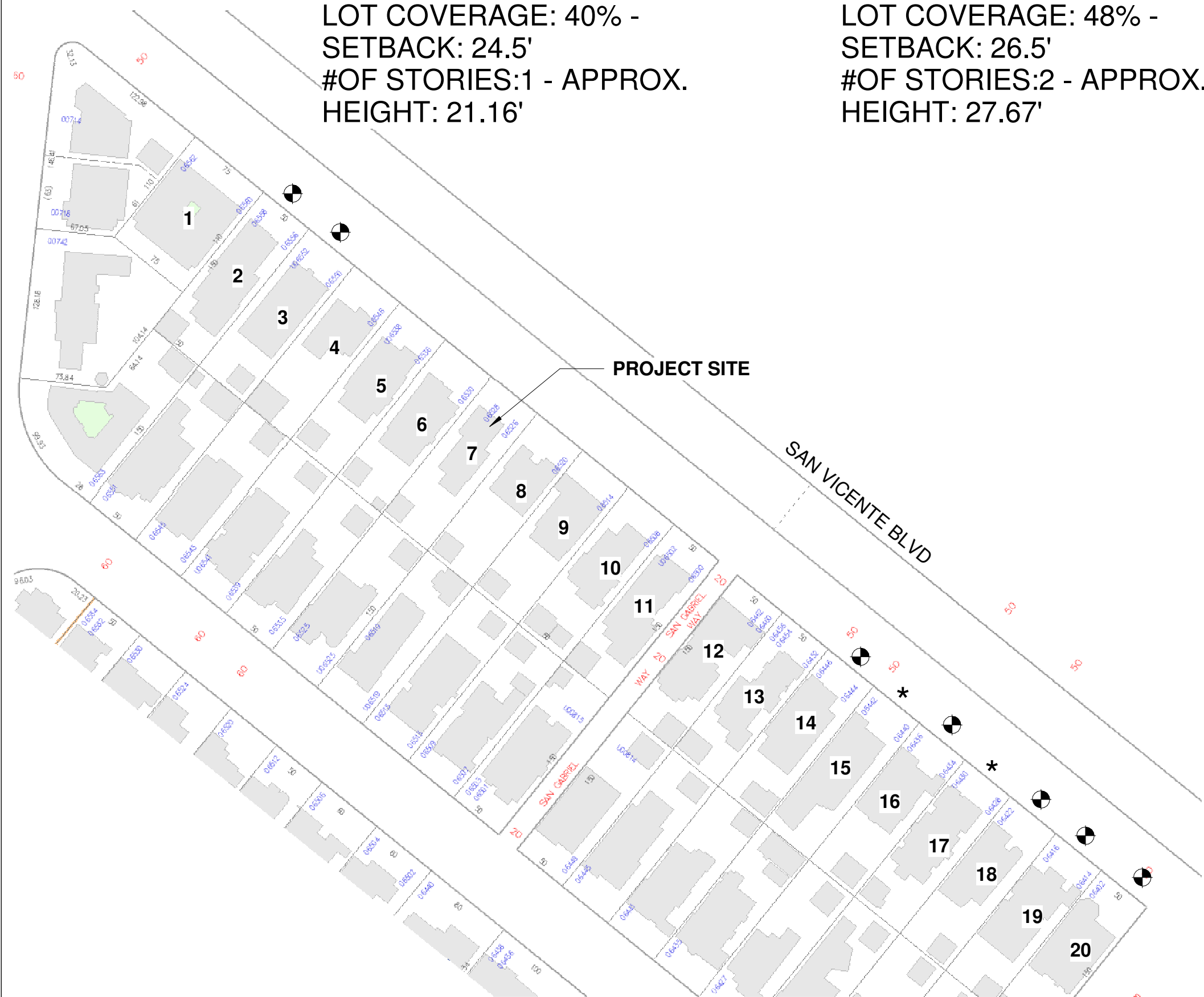
6460-62
NON-CONTRIBUTING
LOT COVERAGE: 52% -
SETBACK: 22.8'
#OF STORIES:1 - APPROX.
HEIGHT: 15.12 '

11.

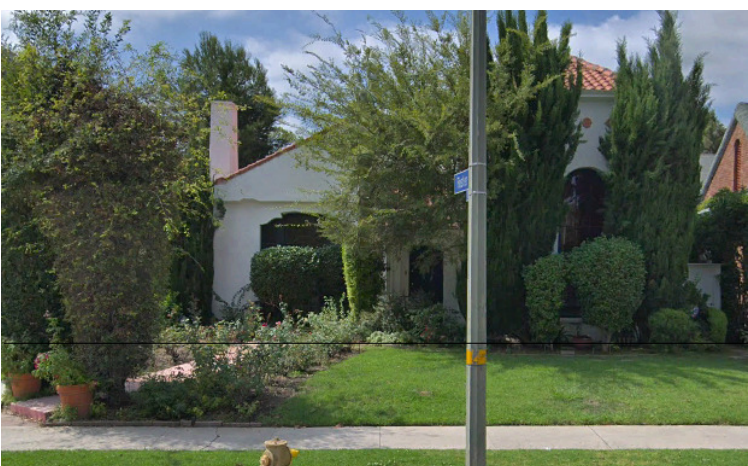


6500-02

NON-CONTRIBUTING
LOT COVERAGE: 49% -
SETBACK: 24.8'
#OF STORIES:1 - APPROX.
HEIGHT: 17.09 '



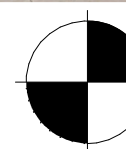
20.



 **6402**
CONTRIBUTING
LOT COVERAGE: 42% -
SETBACK: 24.6'
#OF STORIES:1 - APPROX.
HEIGHT: 24.58'

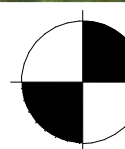
19.



 **6414-16**
CONTRIBUTING
LOT COVERAGE: 47% -
SETBACK: 25.5'
#OF STORIES:1 - APPROX.
HEIGHT: 22.7'

18.



 **6422**
CONTRIBUTING
LOT COVERAGE: 38% -
SETBACK: 25.7'
#OF STORIES:1 - APPROX.
HEIGHT: 22.18'

17.



* **6428-30**
CONTRIBUTING
LOT COVERAGE: 45% -
SETBACK: 24'
#OF STORIES:2 - APPROX.
HEIGHT: 25.4 '



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Beverly Hills, CA 90210
310.709.1222

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ENGINEER:

SURVEY:

CLIENT:

Project Address & Owners:

Residence
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LOS ANGELES, CA 90048

DATE PRINTED:	BENCHMARK:

SHEET TITLE:
**SURROUNDING
ARCHITECTURE**

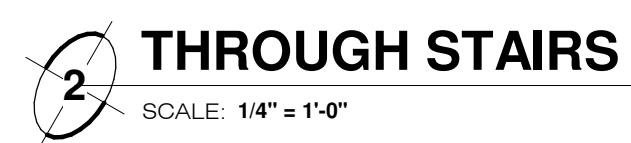
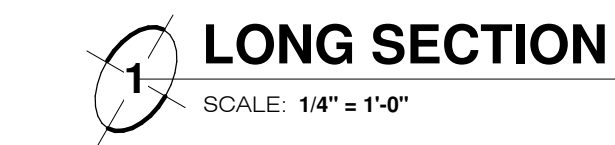
SCALE: As indicated

SHEET NO:

A-3.2



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PRINTED DATE:
2/19/2018 1:44:37 PM
Benchmarks :

SCHEMATIC DESIGN C **xx/xx/20xx**

SHEET TITLE :

SECTIONS

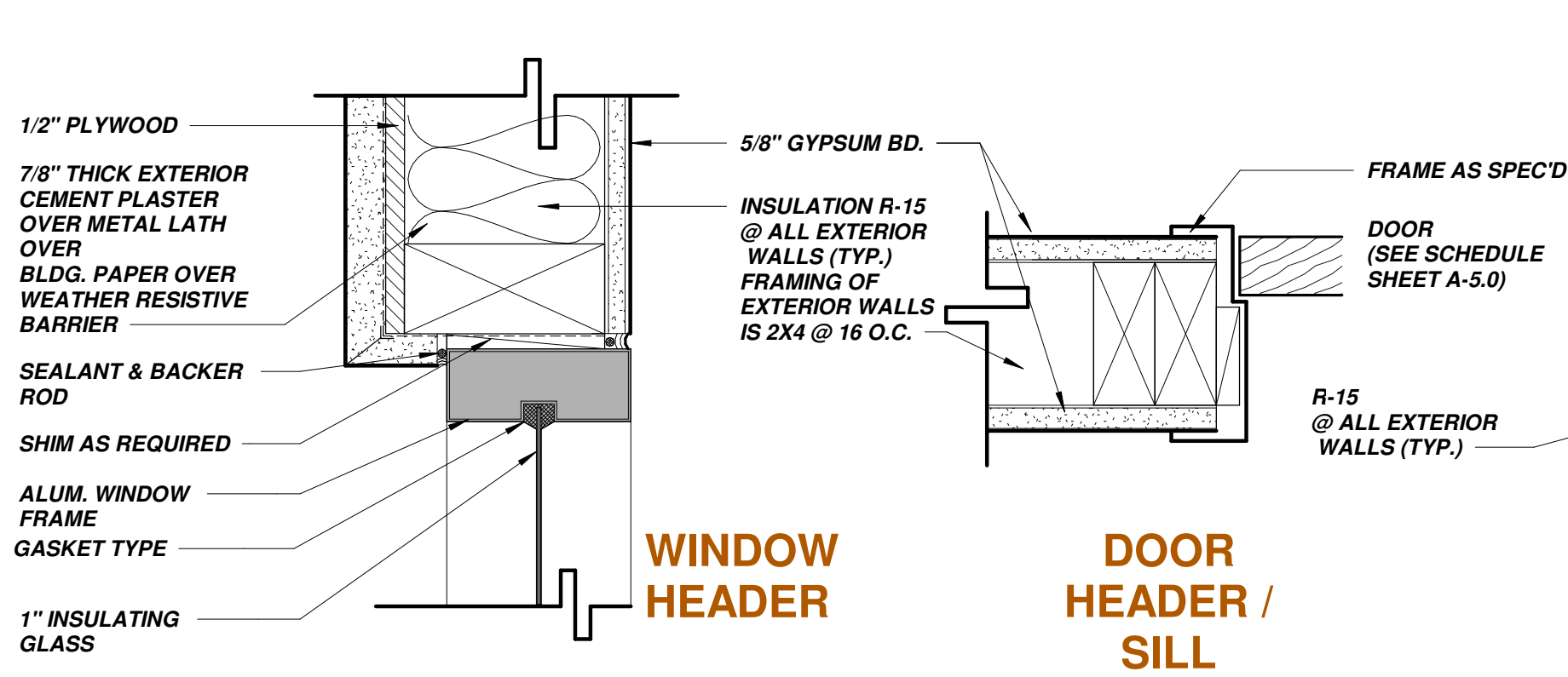
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SHEET NO:

A-4.0

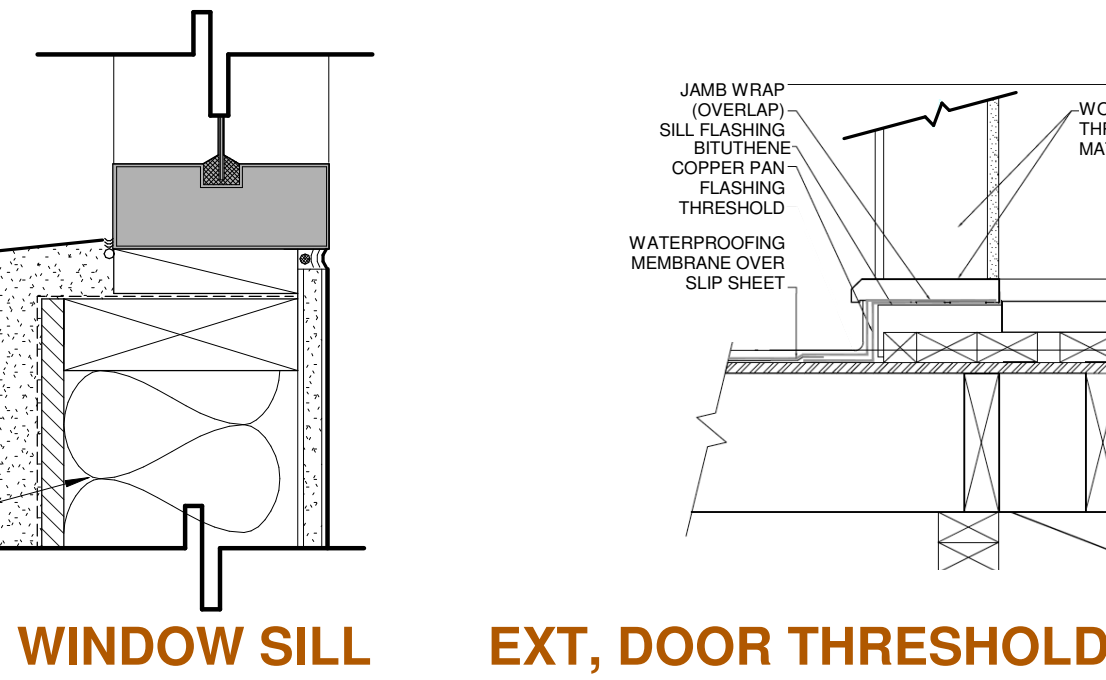
GENERAL DOOR & WINDOW NOTES

- SEE SHEET A0.1 FOR GENERAL SECURITY REQUIREMENTS NOTES.
- SEE DETAILS ON SHEET A-6.0 FOR TYPICAL WATERPROOFING AND HEAD, SILL, JAMB CONDITIONS.
- PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. PBO 2001-14.
- SIZES NOTED ARE BASED ON SASH SIZES. CONTRACTOR SHALL VERIFY WITH PROPOSED MANUFACTURER OF NEW WINDOWS FOR ACTUAL OUTSIDE OF FRAME AND ROUGH OPENING SIZES. VERIFY ALL FIELD AND STRUCTURAL CONDITIONS. DISCUSS WITH ARCHITECT ALL CONFLICTS PRIOR TO PLACING ORDER.
- EGRESS WINDOWS SHALL BE VERIFIED WITH MANUFACTURER'S CLEAR OPENING SPECIFICATIONS THAT THESE WINDOWS MEET CODE.
- ALL HARDWARE TO MEET LOCAL SECURITY CODES.
- ALL LOCKS TO HAVE MINIMUM 1" THROW. ALL LOCKS (NEW AND EXISTING) TO BE RE-KEYED ON THE COMPLETION OF CONSTRUCTION. ALL SITE, GARAGE, OR SECONDARY INTERIOR LOCKS TO BE SEPARATE KEY FROM MAIN EXTERIOR HOUSE DOORS. ALL LOCKS TO BE ON A MASTER. VERIFY WITH OWNER IF LOCKS TO BE INSTALLED ON BEDROOM DOORS. PROVIDE PRIVACY SETS ON ALL BATH AND POWDER ROOMS.
- ALL EXTERIOR DOORS TO HAVE SILLS TO MATCH INTERIOR FLOORING WOOD AND BE A MINIMUM OF 1-3/4" THICK.
- ALL GLAZING TO BE LOW-E.
- PROVIDE ADEQUATE WEATHER STRIPPING.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE SAFETY LAMINATED AT:
 - INGRESS AND EGRESS DOORS.
 - PANELS IN SLIDING OR SWINGING DOORS.
 - WITHIN 2" OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE.
 - IN WALL ENCLOSING STAIRWAY LANDING.
- ALL WINDOW SILLS TO EXTEND PAST CASING 2".
- OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES.
- REFER TO FLOOR PLAN FOR CORRECT SWING.
- ENSURE ADEQUATE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN. -24" CLEAR HT. 20" CLEAR WIDTH, 5.7 SQ. FT. MIN. AREA (5.0 SQ. FT. AT GRADE LEVEL) & 44" MAX TO SILL.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4.
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZE DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM12-7A-2 (708A.2.1)
- EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2074. (EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS) (708A.3)

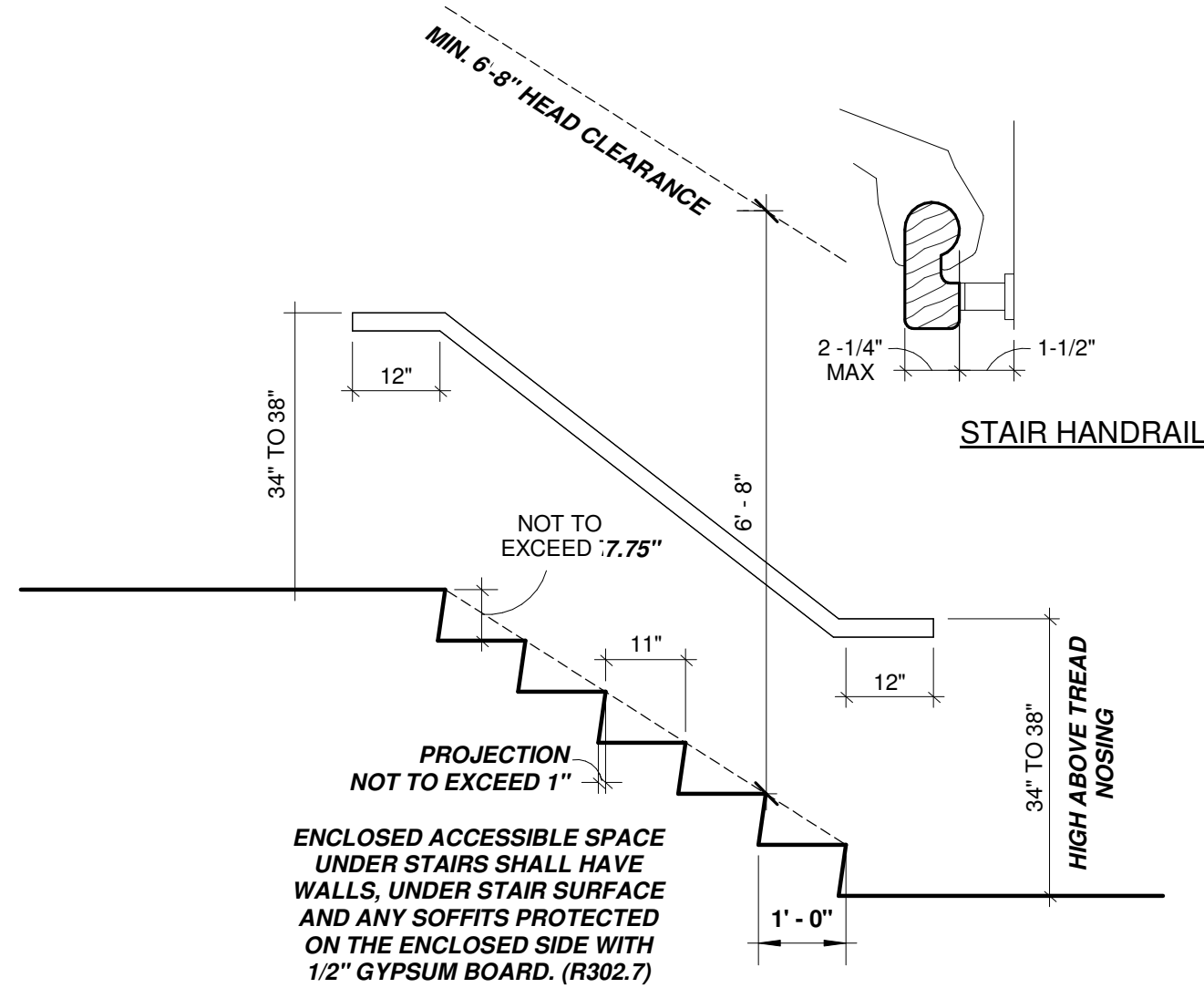


WINDOW DETAILS

SCALE: 3" = 1'-0"



NOTE: THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.



STAIR DETAILS

SCALE: 1/2" = 1'-0"

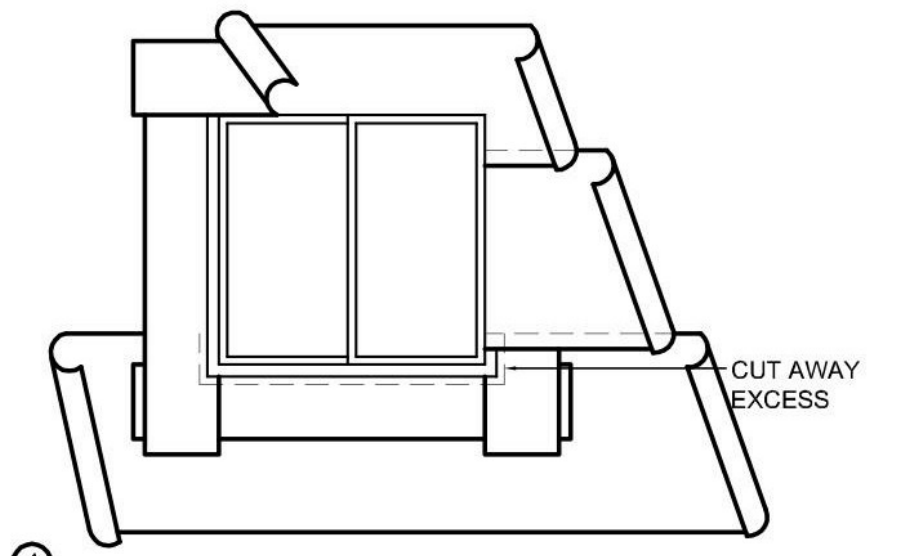
DOOR / WINDOW SECURITY NOTES

- ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR, OR THROUGH VIEW PORTS IN THE DOOR OR ADJACENT WALL. (6708)
- SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)
- WOOD FLUSH TYPE DOORS SHALL BE 1-3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1. DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY GIBBET TO THE JAMB. (6709.4)
- EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STORM PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 1/2" LONG. (6708.5, 6709.7)
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS. DEADLOCKING LATCH WITH KEY OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B. F. AND S. OCCUPANCIES). (6709.2)
- STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8" AND A HOOK-SHAPED OR AN EXPANDING LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)
- WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4" THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 30 IN. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 16 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8 INCHES AND 3 INCHES IN WIDTH. (91.6709.1 ITEM 2)
- SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL FROM TRACK WHILE IN THE CLOSED POSITION. (6710)
- SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6711.1
- METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLT, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)
- PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)
- IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 40 IN. SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL, OR PROTECTED WITH METAL BARS OR GRILLES (6714)
- GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPEN FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLES HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2' IN THEIR GREATEST DIMENSIONS. (6713)
- LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. (6715.3)
- OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)
- SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. (6715.1)
- SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2
- ANY RELEASE FOR METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. (6715.4)
- ALL OTHER OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. (6715.6)

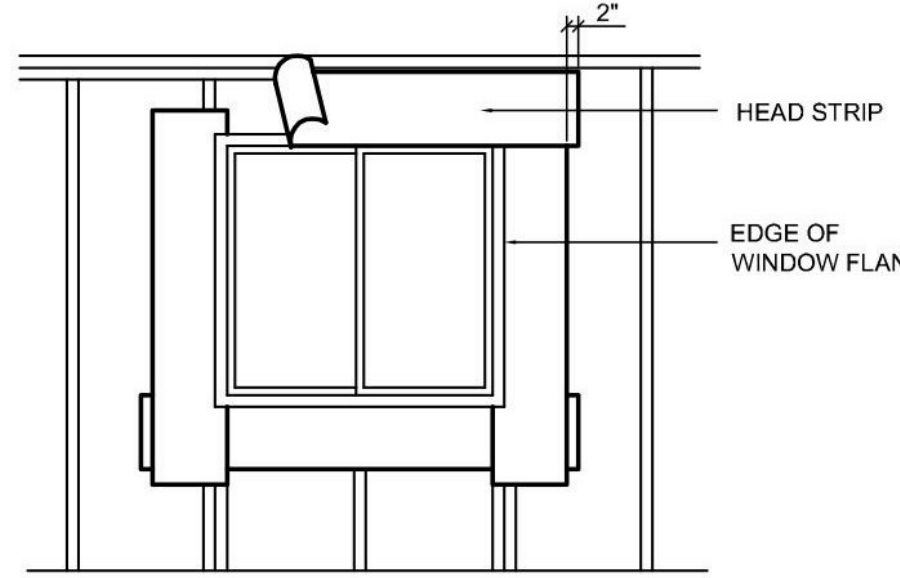
NOTES

NOTES: SECTION 1402.2 UNIFORM BUILDING CODE CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. THIS IS OUR RECOMMENDED PROCEDURE FOR WINDOW FLASHING IN WOOD FRAMED EXTERIOR WALLS WHERE THE EXTERIOR WALL FINISH IS APPLIED OVER BUILDING PAPER OR FELT. USE "MOISTOP" FLASHING OR EQUAL WHENEVER POSSIBLE FOR FLASHING MATERIAL. BITUMENE BACK, JAMB FRAMING AND 6" FRONT AT ALL SIDES OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.

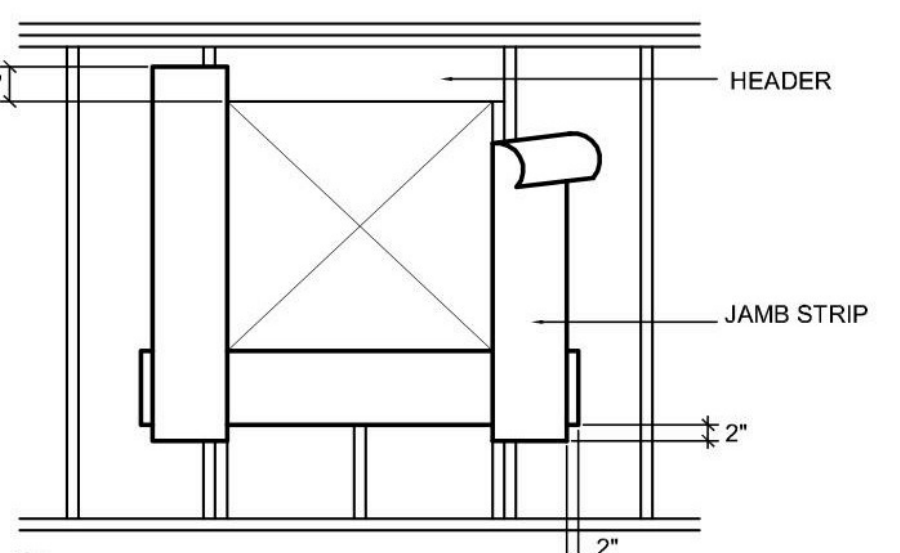
LINE-WIRE, WHEN USE AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH FOR STUCCO, SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICE NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER THE WIRE BACKING.



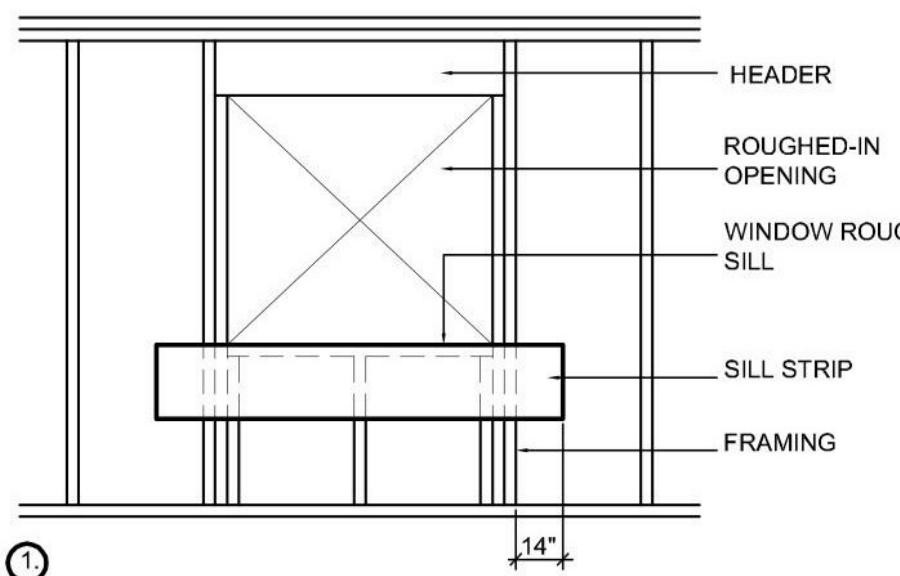
STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY BUILDING PAPER UNDER THE SILL STRIP. CUT AWAY ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. APPLY SUCCESSIVE LINES OF BUILDING PAPER OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE. PAPER SHOULD RUN CONTINUOUSLY OVER HEAD WITH NO SPLICES ABOVE WINDOW.



APPLY A CONTINUOUS BEAD OF SEALANT TO THE BRICK SURFACE OF THE WINDOW FLANGE. INSTALL WINDOW INTO ROUGH OPENING OVER SILL AND JAMB FLASHING STRIPS PER MANUFACTURER'S REQUIREMENTS. APPLY CONTINUOUS BEAD OF SEALANT TO THE FACE OF THE WINDOWS TOP FLANGE. ATTACH THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP 12" WIDE WITH A 2" MINIMUM LAP BEYOND THE JAMB STRIPS.



AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIP AT LEAST 12" WIDE WITH INSIDE EDGE OF FLASHING ALIGNED WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 2" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 12" ABOVE THE LOWER EDGE OF THE HEADER, TOP OF WINDOW OPENING.



ATTACH SILL STRIP OF FLASHING MATERIAL AT LEAST 12" WIDE WITH THE TOPEDGE ALIGNED WITH THE TOP EDGE OF THE ROUGH, (SLOPED) SILL. EXTEND THIS SILL STRIP AT LEAST 14" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. 2" BEYOND THE JAMB STRIP. ATTACH FLASHING WITH CORROSION RESISTANT NAILS OR RUST-RESISTANT STAPLES

WINDOW WATERPROOFING

SCALE: 12" = 1'-0"

PRINTED DATE:

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Benchmarks :

SCHEMATIC DESIGN C xx/xx/20xx

SHEET TITLE :

WINDOW SCHEDULE

SCALE :

As indicated

SHEET NO:

A-6.0



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