



ABBREVIATIONS

ADJ. ADJUSTABLE
A.F.F. ABOVE FINISH FLOOR
(D) DEMOLISH
DN. DOWN
D.S. DOWN SPOUT
(E) EXISTING
ELEV. ELEVATION
E.T.R. EXISTING TO REMAIN
E.P. ELECTRIC PANEL
F.F.E. FINISH FLOOR ELEVATION
MIN. CLR. MINIMUM REQUIRED
(N) NOT APPLICABLE
N/A. NOT IN CONTRACT
N.T.S. NOT TO SCALE
T.B.D. TO BE DETERMINED
T.O.C. TOP OF CURB
T.O.F. TOP OF FLOOR
T.O.P. TOP OF SLAB
T.S. FINISH GRADE
F.G. FINISH GRADE
U.O.N. UNLESS OTHERWISE NOTED
U/S UNDER SIDE
V.I.F. VERIFY IN FIELD
W/ WITH
W.I.C. WALK IN CLOSET

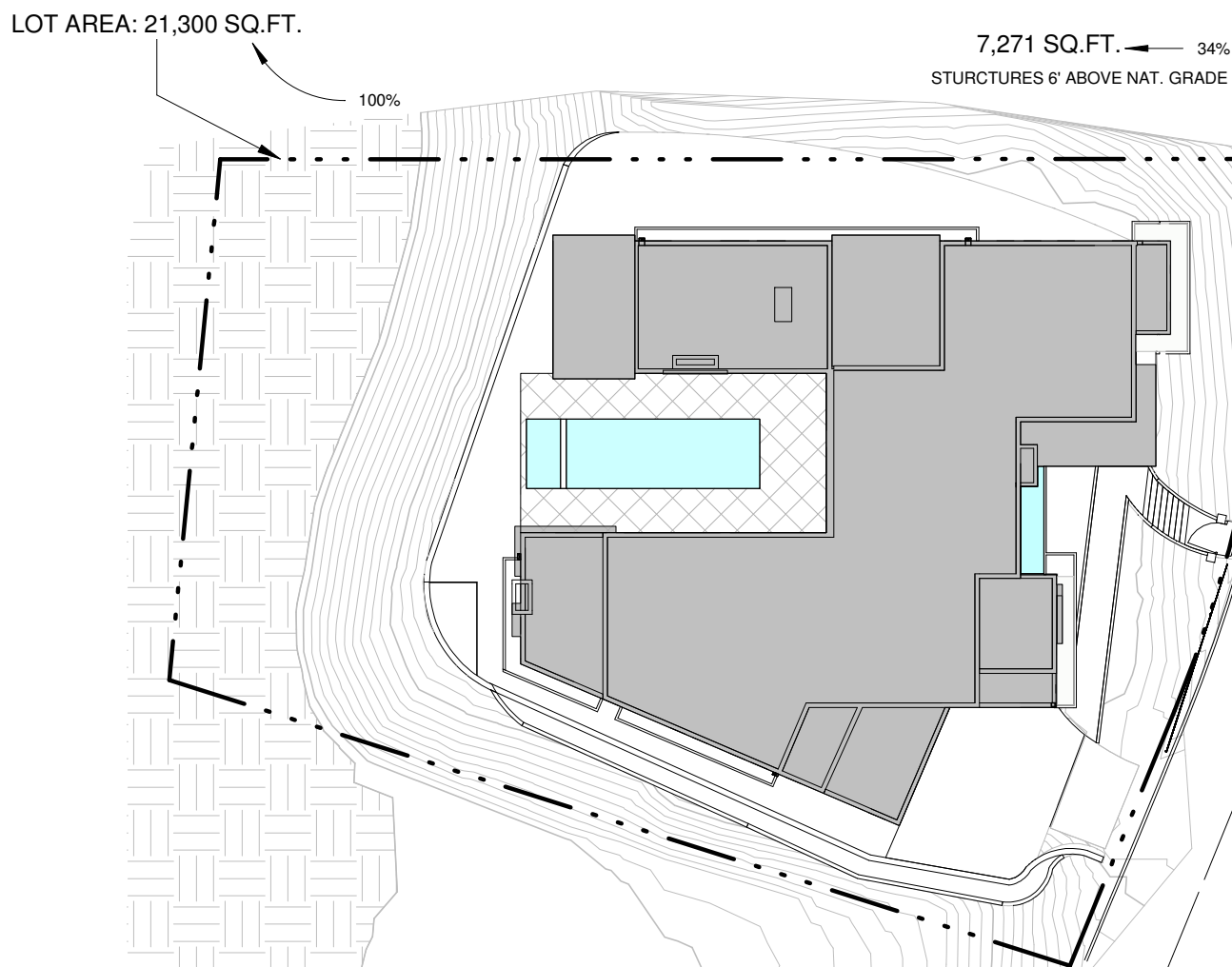
SYMBOLS

ELEV. LETTER
 ELEV. SHEET
 BLDG. SECTION NUMBER
 BLDG. SECTION SHEET
 DETAIL NUMBER
 DIRECTION OF DETAIL
 DETAIL SHEET
 DETAIL NUMBER
 DETAIL SHEET

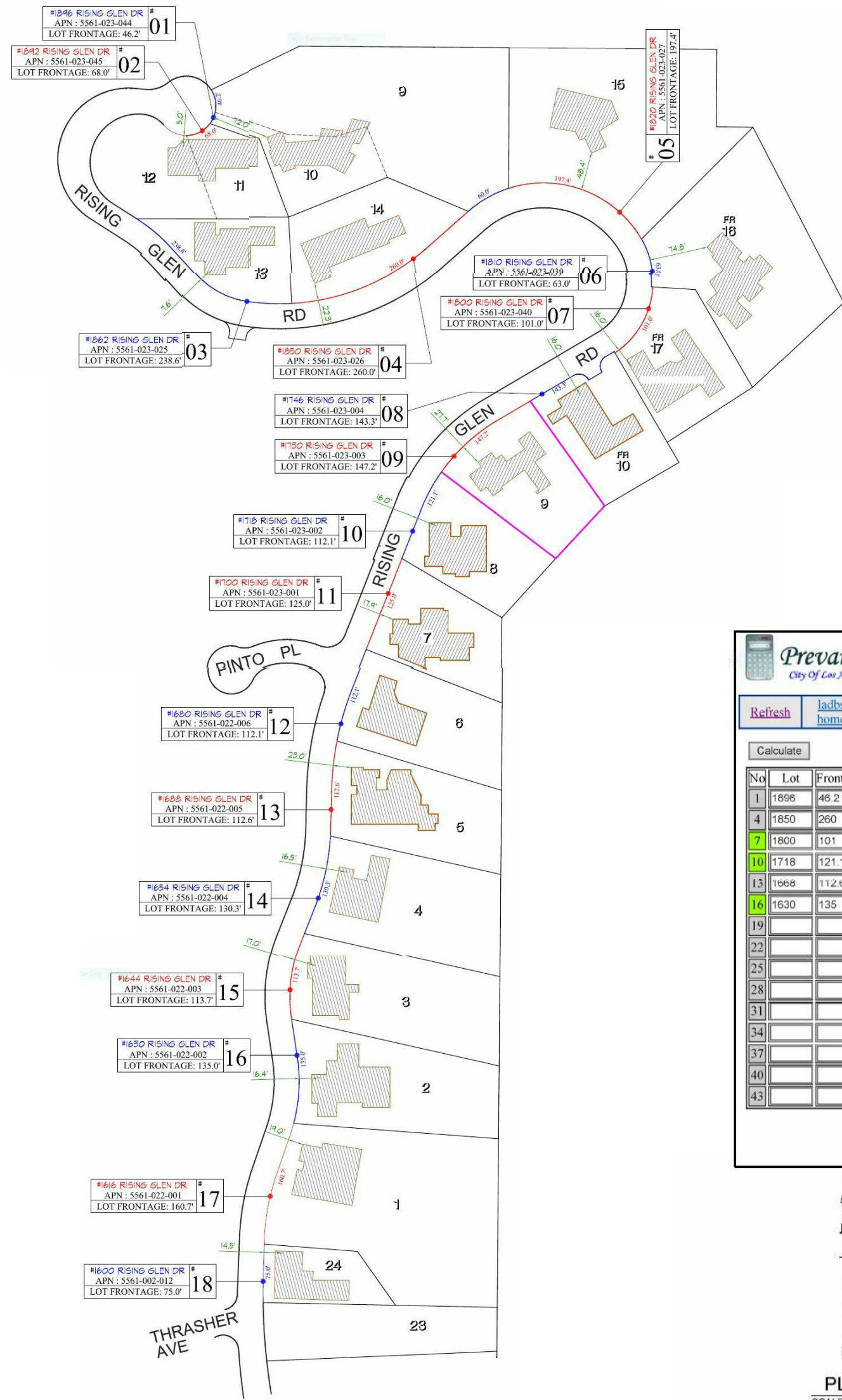
REVISION NUMBER
 BLDG. HEIGHT REFERENCE POINT
(N) DOOR SYMBOL (SEE SCHEDULE)
(N) WINDOW SYMBOL (SEE SCHEDULE)
(N) WALL TYPE
(E) EXISTING TO REMAIN
(N) NEW

REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR SPECIFIC SYMBOLS

LOT COVERAGE



PREVAILING SETBACKS



Prevailing Setback Calculator

City of Los Angeles, Department of Building and Safety

Setback	Lot	Inches to Feet Conversion Table	Important Note	Zoning Code	Prevailing Setback Information Bulletin	Lot
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Calculate											
No.	Lot	Frontage	Setback	No.	Lot	Frontage	Setback	No.	Lot	Frontage	Setback
1	1806	46.2	72	2	1802	68	8	3	1802	238.6	17.8
4	1800	290	22.3	5	1820	197.4	48.4	6	1810	63	74.8
7	1800	101	19	8	1748	143.3	19	9	1730	147.2	27.7
10	1718	121.1	16	11	1700	125	17.9	12	1680	112.1	26.9
13	1068	112.9	23	14	1654	130.3	16.5	15	1644	113.7	17
16	1630	135	16.4	17	1616	160.7	19	18	1600	75	14.5
19			20				21				
22			23				24				
25			26				27				
28			29				30				
31			32				33				
34			35				36				
37			38				39				
40			41				42				
43			44				45				

Prevailing Setback=15.00 ft

Total no of lots entered=18
Total frontage entered=2,350.00 ft
40% of Total frontage entered=940.00 ft

No of lots of frontage in the calculations=8
Setback range used=7.6 - 17.6 ft

Total frontage used in the calculations=1058 ft

No of trials=2

Lots Used

Frontage Setback	
1802	238.6 7.6
1801	101 16
1746	143.3 16
1718	121.1 16
1654	130.3 16.5
1644	113.7 17
1630	135 16.4
1600	75 14.5

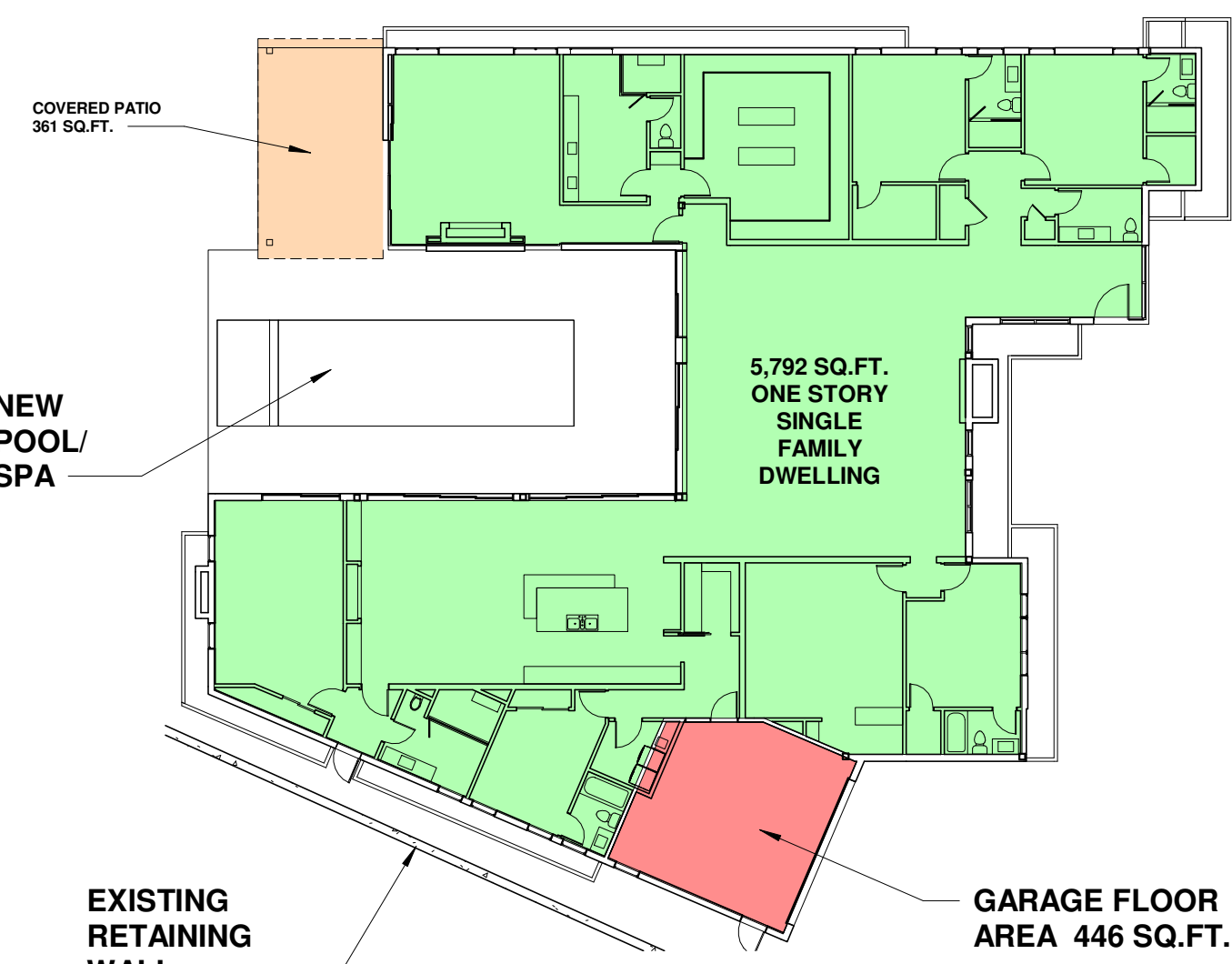
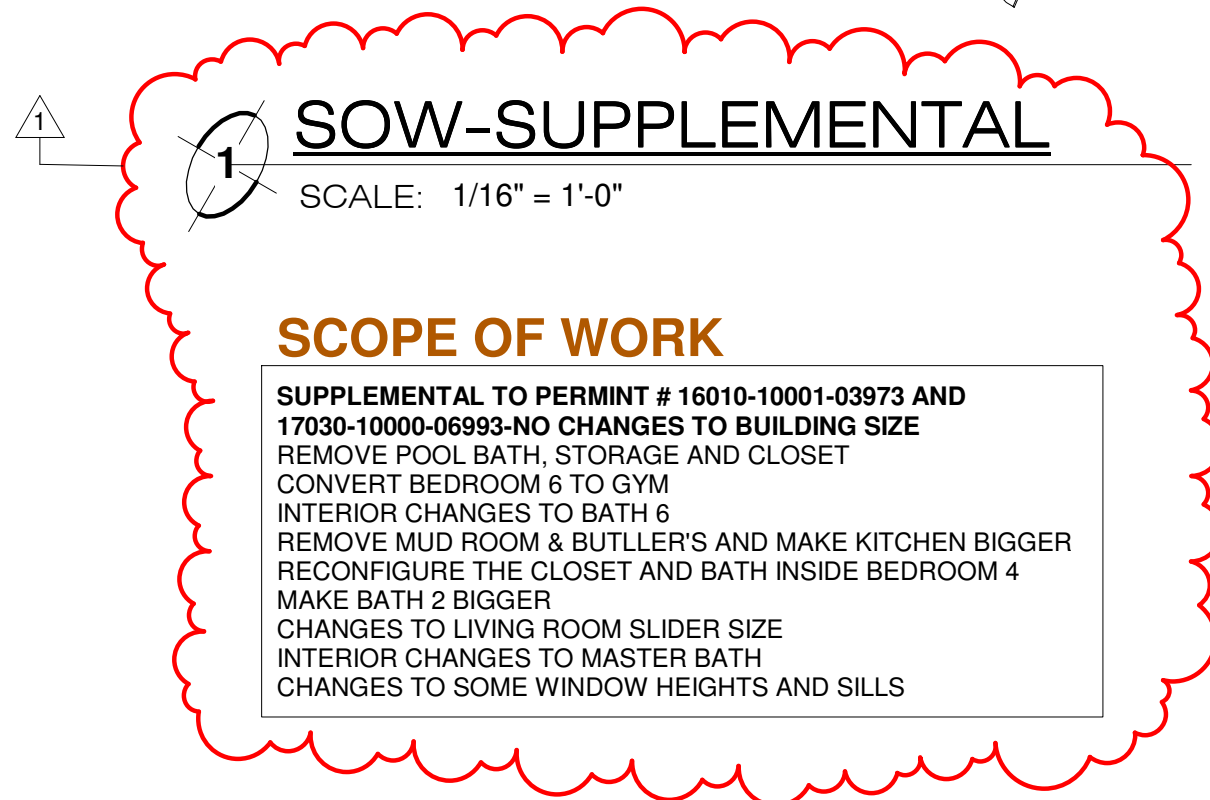
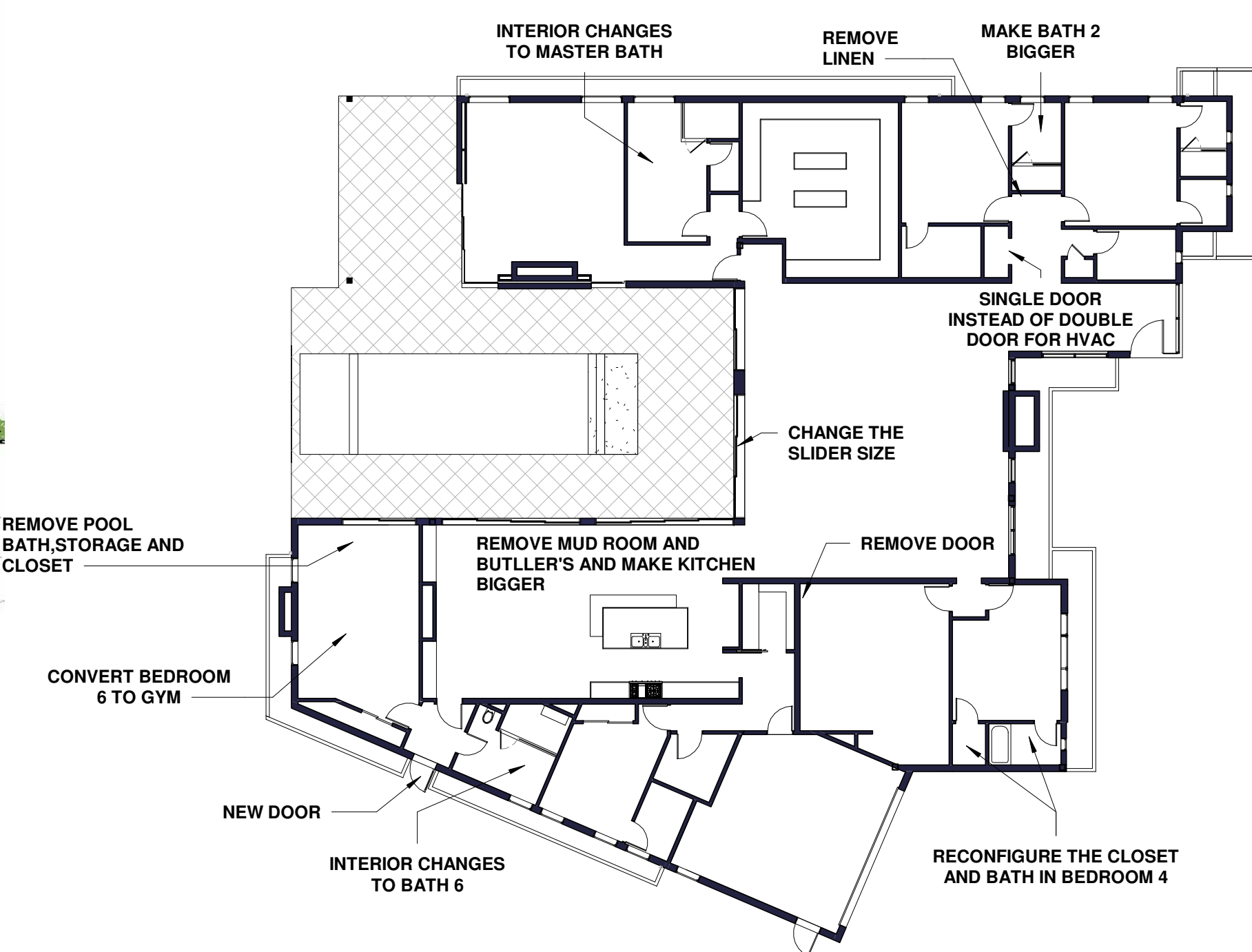
View Calculations Details

PLAN
SCALE: 1"=40'
GRAPHIC SCALE
DATE: APRIL 11, 2016



GEORGE BARAJAS, P.L.S. 8399

04-20-2016
DATE



BUILDING AREA ANALYSIS (FLOOR AREA)		
	PROPOSED	TOTAL (SQ.FT.)
FIRST FLOOR	5,792 SQ.FT.	5,792 SQ.FT.
GARAGE	446 (-200EXEMPTION)	246 SQ.FT.
COVERED PATIO		361 SQ.FT.
TOTAL:		6,399 SQ.FT.
BUILDING AREA ANALYSIS (SCHOOL DISTRICT)		
		(SQ.FT.)
FIRST FLOOR		6,137
TOTAL:		6,137 SQ.FT.

PROJECT SUMMARY

APPLICABLE CODES: THIS PROJECT SHALL COMPLY WITH: 2014 L.A.B.C. & L.A.M.C. 2013 B.C.C.A. MECHANICAL CODE (CMC), CA. PLUMBING CODE (C.P.C.), CA. RESIDENTIAL CODE (C.R.C.) AND 2014 G.B.C.

PROPERTY ADDRESS: 1730 N RISING GLEN RD. LOS ANGELES, CA 90069

PIN NUMBER: 150B169 1354

LEGAL DESCRIPTION: LOT 9, TR 20404 IN THE CITY OF LOS ANGELES, COUNTY OF L.A. STATE OF CALIFORNIA

AS PER MAP REFERENCE M B 588-74/76

ASSESSOR ID #: 5561-023-003

OWNERS: WYSTEN OPPORTUNITY FUND, LLC 15260 VENTURA BLVD., STE. 2130 SHERMAN OAKS, CA 91403

ZONE: RE15-1-H

BLOCK: None

LOT: 9

BASELINE HILLSIDE ORDINANCE: YES

BASELINE MANSIONIZATION ORDINANCE: NO

CONSTRUCTION TYPE: TYPE V

FIRE SPRINKLERS: YES (NFPA 13D MIN.)

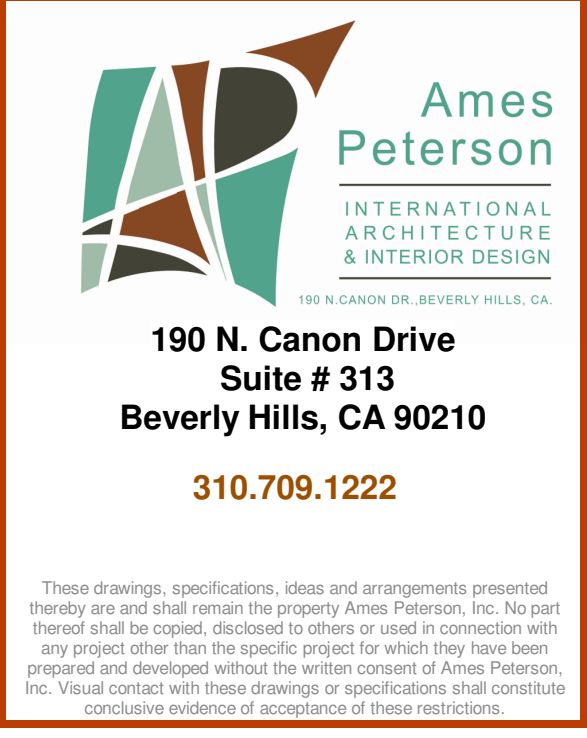
LOT AREA: 21,300 SQ.FT. (AS PER SURVEY)

MAX. HEIGHT: 16'-0"

MAXIMUM ALLOWABLE SQ.FT. AS PER SLOPE BAND ANALYSIS: 5,792 SQ.FT.

PLUS 20% 1,158.4 SQ.FT. (UTILIZING THE UNDER 18' ENVELOPE HEIGHT OPTION)

TOTAL MAXIMUM ALLOWABLE SQ.FT. 6,950.4 SQ.FT. (5,792 + 1,158.4)



PROJECT DIRECTORY:

DESIGNER: Ames Peterson Design Studio
190 N. Canon Drive Suite 313
Beverly Hills, CA 90210
310.709.1222

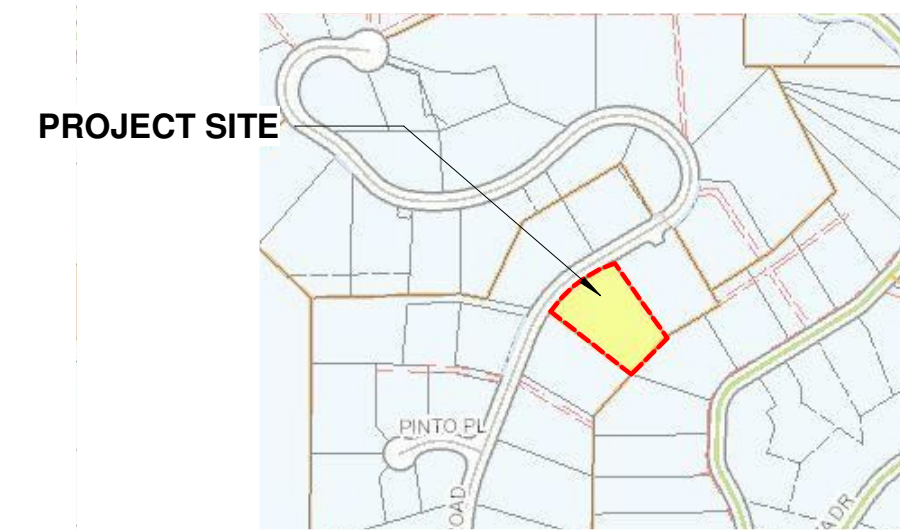
STRUCTURAL ENGINEER: Lotfi & Associates
11949 W. Jefferson Blvd. Suite 101
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310.795.1248
Lic # 49359 (exp. 9/30/16)

TITLE 24 NEWTON ENERGY
310.375.2699
newtonsenenergy@gmail.com

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VICINITY MAP



Project Address & Owners:

Residence
1730 N. RISING GLEN ROAD
LOS ANGELES, CA 90069

DATE: 10 / 05 / 2017 BENCHMARK: RTI SET

DATE: 11 / 07 / 2017 SUPPLEMENTAL

DATE: 11/13/2017 4:48:35 PM DATE PRINTED:

SHEET TITLE: COVER SHEET

SCALE: As indicated

SHEET NO: A-0.0



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NOTE:

PROJECT WITH NEW LANDSCAPE AREAS OF 500 SQ. FT. OR MORE ARE SUBJECT TO THE 2015 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).

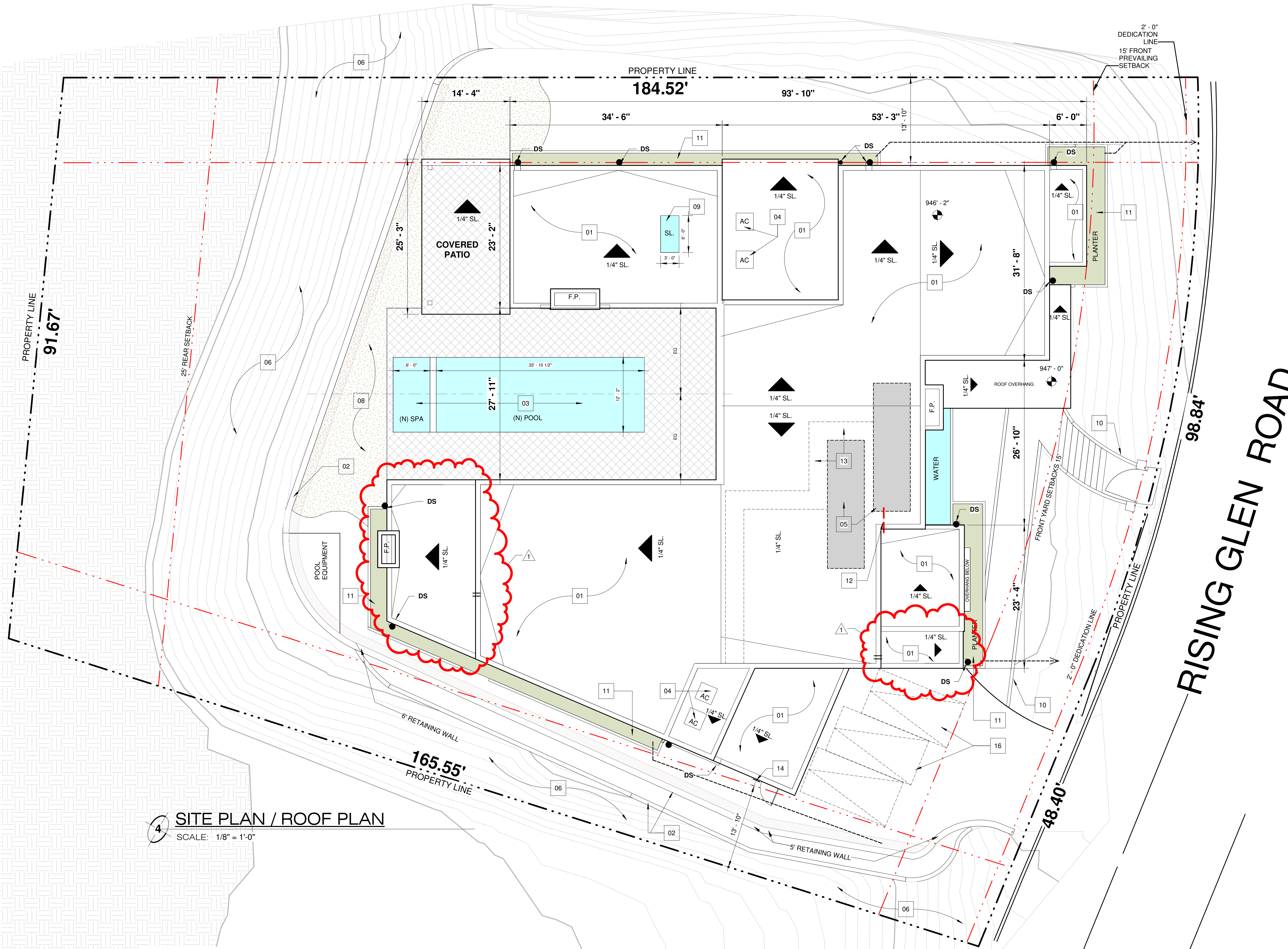
BUILDING ON SITE WITH 500 SQ. FT. OR MORE OF CUMULATIVE LANDSCAPE AREA SHALL HAVE SEPERATE METERS OR SUBMETERS FOR OUTDOOR WATER USE.

A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION.

KEYNOTES

- 1) TORCH DOWN ROOFING ESR 2018 (see sheet A-6.0 detail #1 and ICC report)
SEE CLASS 'A' ROOFING NOTE BELOW
- 2) (E) RETAINING WALL TO REMAIN (UNDER PERMIT #16020-10000-02949)
- 3) NEW POOL AND SPA
- 4) A/C UNIT EQUIPMENT
- 5) 250 SQ. FT AREA FOR FUTURE SOLAR PANELS
- 6) EXISTING NATIVE LANDSCAPE TO REMAIN UNTOUCHED
- 7) PERMEABLE PAVERS
- 8) (N) LANDSCAPE
- 9) SKYLIGHT ESR 2415 (see sheet A-6.0 for ICC report and details)
- 10) 18" HIGH GARDEN WALL
- 11) PLANTERS (SEE SPECS ON SHEET A-1.2)
- 12) PATHWAY FOR ROUTING PLUMBING FROM SOLAR ZONE TO THE MAIN SERVICE PANEL @ GARAGE
- 13) SOLAR PANEL SERVICE WALKWAY
- 14) IRRIGATION CONTROL
- 15) HARDSCAPE MATERIAL WITH AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.30
- 16) THREE ADDITIONAL PARKING SPACES 7'-6 X 15'-0"

CLASS 'A' ROOFING SPECIFICATIONS:
ARTIFINE SPRAYED FOAM INSULATED ROOF INSTALLED BY MANUFACTURER APPROVED INSTALLER PER MANUFACTURER SPECIFICATIONS WITH R13 AVERAGE INSULATION VALUE. SHALL HAVE 5ND URETHANE-CEMENTITIOUS COATING. ROOFING SYSTEM SHALL BE UL-790 (ASTM E-109) CLASS A ROOFING SYSTEM SHALL COMPLY WITH UBC SECTIONS 1501-1510 AND UBC CODE STANDARD 15-2. SYSTEM SHALL MEET UL-1296 CONSTRUCTION METHODS #15, #16, #17 AND #20. ROOFING SYSTEM SHALL MEET TAS 114-D STANDARD FOR WIND UPLIFT AND UL-2218 STANDARD IMPACT RESISTANCE. ROOFING SYSTEM SHALL MEET REQUIRED ICC REVISED AC-120/ASTM C-1209 APPROVAL CRITERIA, FM GLOBAL APPROVAL STANDARDS, ENERGY STAR AND CRCC GUIDELINES.
SEE SPECS ON A-6.0
FOR ROOF SLOPES UNDER 2:12 A MIN. 3-YEAR AGED SOLAR REFLECTANCE AND THERMAL EMMITTANCE OR A MIN. SOLAR REFLECTANCE INDEX (SRI) OF AT LEAST 0.20 AND A THERMAL EMMITTANCE OF AT LEAST 0.75



4 SITE PLAN / ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN GENERAL NOTES

- 1) Roof / Attic vents shall meet the following: (R806.1, R806.2). The net free ventilation area shall not be less than 1/150 of the attic space or 1/300 provided a Class I or II vapor barrier is installed on the warm side of ceiling or 1/300 provided at least 50% and not more than 80% of the required ventilation area must be located at least 3 feet above eave or cornice vents with the balance provided by eave or cornice vents. Openings shall have corrosion-resistant wire mesh or other approved material with 1/16-in min. and 1/4" maximum opening.
A min. of 1" airspace shall be provided between insulation and roof sheathing.
Unvented attic assemblies shall meet all the conditions in Section R806.5
- 2) All insulation materials shall be certified by manufacturer as complying with the California quality standards for insulation material. Doors and windows between conditioned and unconditioned space shall be full weather stripped.
- 3) EXTERIOR PORCH CEILINGS / FLOOR PROJECTIONS / UNDERFLOOR PROTECTION, OPEN ROOF EAVES, ENCLOSED ROOF EAVES, ROOF EAVES SOFFITS AND EXPOSED UNDERSIDE OF APPENDAGES SHALL HAVE AN EXTRA LAYER OF 5/8" TYPE 'X' GYPSUM BOARD.

ENERGY EFFICIENCY NOTES

- a. Designate on the roof plan solar zone area(s) with total area equal to or greater than 250 sq ft. The solar zone shall be comprised of areas that have no dimension less than 5 feet and each area shall not be less than:
i. 80 sq ft for roof areas of 10,000 sq ft or less
ii. 160 sq ft for roof areas over 10,000 sq ft.
- b. For roof slopes > 2:12 (9.5° from horizontal), show that the solar zone is oriented between 110° and 270° of true north.
- c. The solar zone shall be free of obstructions and be setback at least two times the height of any obstruction, including but not limited to, vents, chimneys, and equipment.
- d. For roof slopes ≤ 2:12, the solar zone shall maintain a 3 foot wide access pathway (measured from the load bearing wall to the perimeter of the solar zone) around the perimeter edges of the roof.
- e. For roof slopes > 2:12, the solar zone shall not be located higher than 3 feet below the ridge and shall not be located closer than 18-inches to a hip or valley if placed on both sides of the hip or valley.
- f. For roof slopes > 2:12, provide a minimum 3 foot-wide clear access pathway (measure from the load bearing wall to the solar zone) to the ridge on all side of each roof slope where the solar zones are located.
- g. Plans shall indicate a location for inverters and metering equipment and a pathway for routing from the solar zone to the main service panel.
- h. Plans shall indicate a pathway for routing of plumbing from the solar zone to the water-heating system.
- i. The main service panel shall have a minimum busbar rating of 200 amps.
- j. Add note to plans: "The main electrical service panel shall have a reserved space to allow for installation of a double pole circuit breaker for a future solar electric installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit location and shall be permanently marked as 'For Future Solar Electric'."
(4.211.4, Energy Code §110.10, LAFD Requirement No.96)





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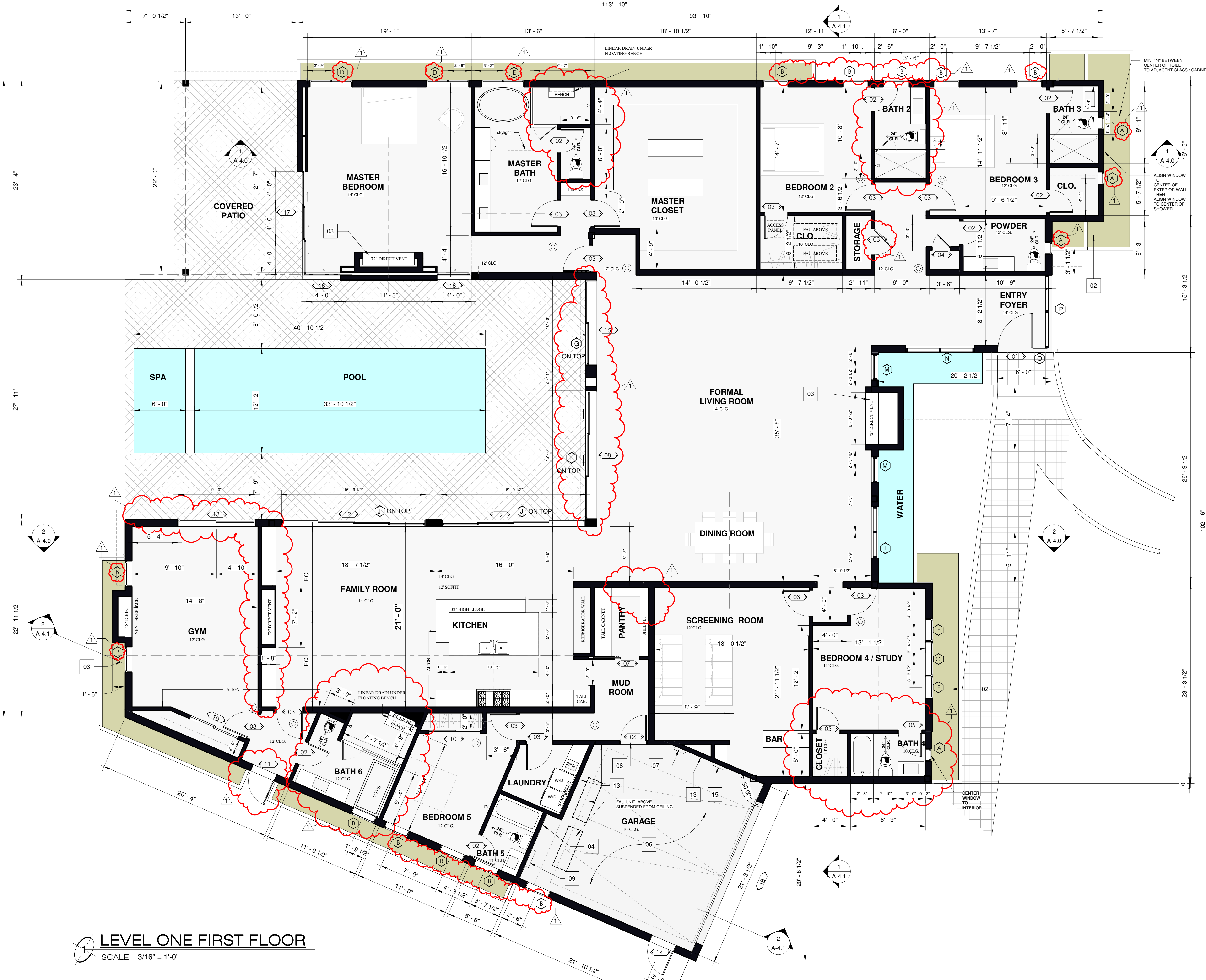
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== WALLS/ ROOF/ ELEMENTS
TO BE DEMOLISHED
— EXISTING WALLS TO REMAIN

1 DEMO PLAN FOR SUPPLEMENTAL
SCALE: 3/16" = 1'-0"

Project Address & Owners:	
Residence	
1730 N. RISING GLEN ROAD LOS ANGELES, CA 90069	
DATE :	BENCHMARK:
10 / 05 / 2017	RTI SET
11 / 07 / 2017	SUPPLEMENTAL
11/13/2017 4:48:39 PM	DATE PRINTED:
SHEET TITLE :	
DEMO PLAN	
SCALE :	
As indicated	
SHEET NO:	
A-1.1	



LEVEL ONE FIRST FLOOR
SCALE: 3/16" = 1'-0"

FLOOR PLAN SYMBOLS

- ENERGY STAR COMPLIANT EXHAUST FAN TO BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. NOTE: FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. (SEE NOTE 25, GRN 14 FORM, SHEET A-1.2)
- APPROVED SMOKE DETECTOR ALARM EQUIPPED WITH APPROVED CARBON-MONOXIDE ALARM. (SEE SHEET NOTE ON THIS SAME SHEET) REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR SPECIFIC SYMBOLS
- DOWNSPOUTS INSIDE WALLS

FLOOR PLAN KEYNOTES

- NEW FRONT DOOR STEPS
- PLANTER
- (N) FIRE PLACE (SEE SPECS ON SHEET A-6.0)
- NEW ELECTRICAL PANEL
- NEW TANKLESS WATER HEATER
- GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NON COMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY.
- PROVIDE ONE 120V AC 20 AMP AND ONE 208/240V 40 AMP, GROUNDED AC OUTLET FOR EACH REQUIRED ELECTRIC VEHICLE PARKING, OR PROVIDE ELECTRICAL PANEL CAPACITY FOR ONE 120V AC 20 AMP AND ONE 208/240V AMP, GROUNDED AC OUTLET
- DOOR BETWEEN GARAGE AND HOUSE TO BE SELF-CLOSING AND SELF-LATCHING, SOLID WOOD NO LESS THAN 1 3/8" THICK OR HAVE A MIN. FIRE PROTECTION RATING OF 20 MINUTES.
- SOIL OR WEATHER BASED CONTROL PANEL FOR IRRIGATION. BUILDINGS ON SITE WITH 500 SQ. FT OR MORE OF CUMULATIVE LANDSCAPE AREA SHALL HAVE SEPARATE METERS OR SUBMETERS FOR OUTDOOR WATER USE.
- METAL FRAME TRELLIS ABOVE
- LANDSCAPE AREA
- NEW GAS METER
- EXTRA LAYER OF 5/8" GYP. BD. AT WALLS BETWEEN HOUSE AND GARAGE
- BASALITE PAVERS. HARDSCAPE MATERIAL WITH INITIAL SOLAR REFLECTANCE OF AT LEAST 0.30
- MAIN SERVICE PANEL LOCATION WITH MIN. BUSBAR RATING OF 200 AMPS. LOCATION FOR INVERTERS AND METERING EQUIPMENT WITH PATHWAY FOR ROUTING FROM SOLAR ZONE TO MAIN SERVICE PANEL.
- ENERGY STAR COMPLIANT EXHAUST FAN TO BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. NOTE: FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- APPROVED SMOKE DETECTOR ALARM EQUIPPED WITH APPROVED CARBON-MONOXIDE ALARM. (SEE SHEET NOTE ON THIS SAME SHEET) REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL SHEETS FOR SPECIFIC SYMBOLS

FLOOR PLAN GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
- DO NOT SCALE FROM DRAWINGS.
- ANY INCONSISTENCIES OR UNRESOLVED CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
- ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
- PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
- ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER STRIPPED.
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
- CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.
- ALL EXTERIOR WALL ARE ONE HOUR FIRE-RATED WALLS.
- AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED THROUGHOUT PER SECTION 903.2.8. THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- PER CBC TABLE 903.9, ALL ROOMS AND ENCLOSED SPACES IN A SPRINKLERED GROUP SHALL BE FINISHED IN CLASS 0 MATERIALS. FLAME SPREAD INDEX OF 75-200 AND A SMOKE-DEVELOPMENT INDEX OF 450 PER 903.1.1.
- A FIRE-RETARDANT ROOF COVERING OR ROOF ASSEMBLY THAT IS LISTED AS A CLASS ASSEMBLY IN ACCORDANCE WITH ASTM E 108 OR UL 790 IS REQUIRED. WOOD IS NOT PERMITTED TO BE USED AS A ROOF COVERING MATERIAL. ICC-ES ESR-1308, ESR-1309, ESR-1310, ESR-1311, ESR-1312, ESR-1313, ESR-1314, ESR-1315, ESR-1316, ESR-1317, ESR-1318, ESR-1319, ESR-1320, ESR-1321, ESR-1322, ESR-1323, ESR-1324, ESR-1325, ESR-1326, ESR-1327, ESR-1328, ESR-1329, ESR-1330, ESR-1331, ESR-1332, ESR-1333, ESR-1334, ESR-1335, ESR-1336, ESR-1337, ESR-1338, ESR-1339, ESR-1340, ESR-1341, ESR-1342, ESR-1343, ESR-1344, ESR-1345, ESR-1346, ESR-1347, ESR-1348, ESR-1349, ESR-1350, ESR-1351, ESR-1352, ESR-1353, ESR-1354, ESR-1355, ESR-1356, ESR-1357, ESR-1358, ESR-1359, ESR-1360, ESR-1361, ESR-1362, ESR-1363, ESR-1364, ESR-1365, ESR-1366, ESR-1367, ESR-1368, ESR-1369, ESR-1370, ESR-1371, ESR-1372, ESR-1373, ESR-1374, ESR-1375, ESR-1376, ESR-1377, ESR-1378, ESR-1379, ESR-1380, ESR-1381, ESR-1382, ESR-1383, ESR-1384, ESR-1385, ESR-1386, ESR-1387, ESR-1388, ESR-1389, ESR-1390, ESR-1391, ESR-1392, ESR-1393, ESR-1394, ESR-1395, ESR-1396, ESR-1397, ESR-1398, ESR-1399, ESR-1400, ESR-1401, ESR-1402, ESR-1403, ESR-1404, ESR-1405, ESR-1406, 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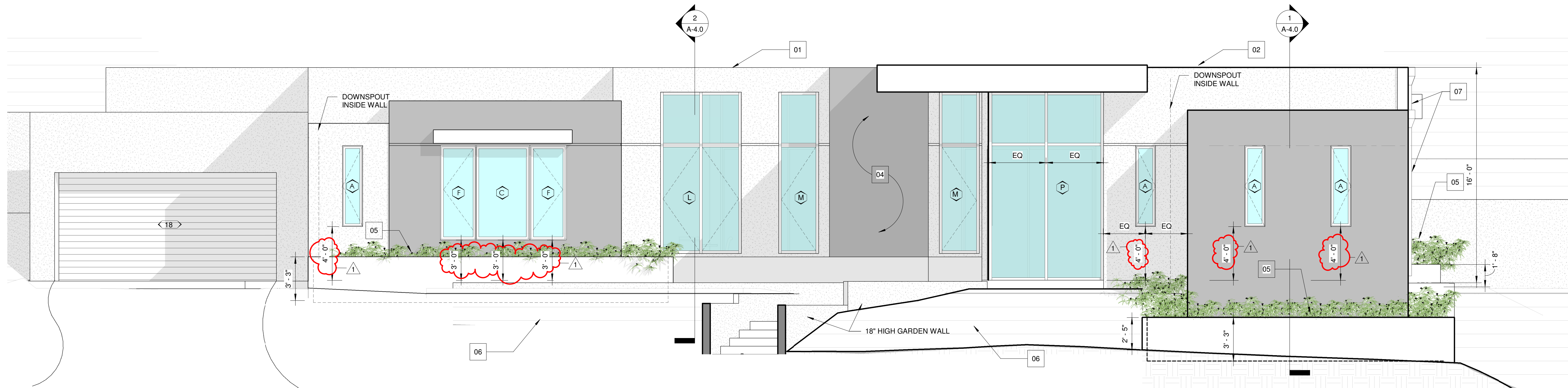
TITLE 24
NEWTON ENERGY
310.375.2699
newtonsenenergy@gmail.com

ELEVATION KEYNOTES

- 01 TORCH DOWN ROOFING (see sheet A-6.0 for ICC report & details)
- 02 16 FEET BUILDING MAXIMUM HEIGHT AS PER NEIGHBORHOOD COUNCIL REQUIREMENT
- 03 PARAPET WALL
- 04 DIRECT VENT FIREPLACE SEE SPECS ON A-6.0
- 05 PLANTER. SEE A-1.2 FOR DIAGRAM / DETAILS
- 06 LANDSCAPE
- 07 DOWNSPOUTS

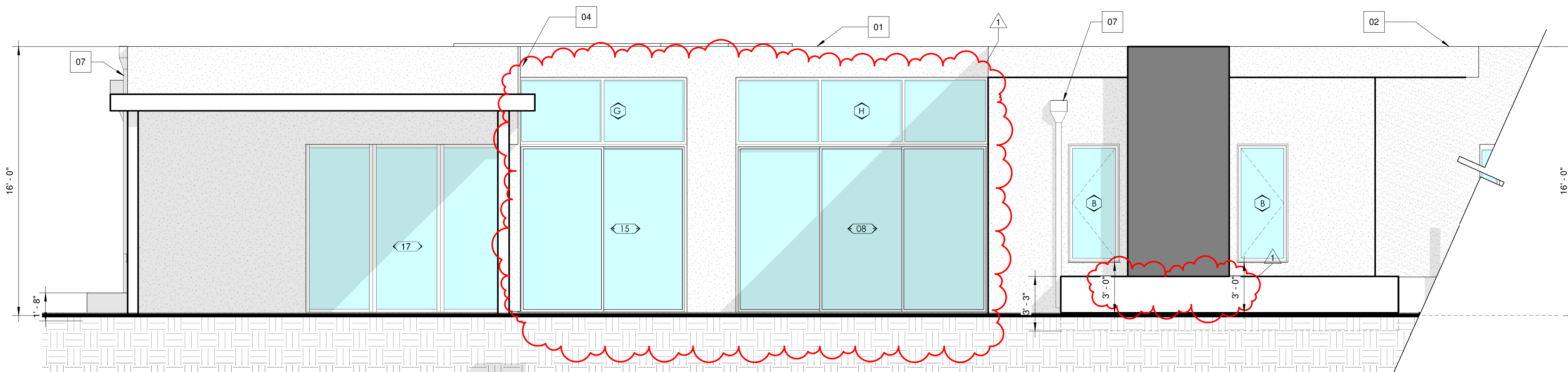
GENERAL NOTES:

- SEE TITLE 24 FOR ROOF & WALL INSULATION.
- UNDER FLOOR ACCESS OPENING SHALL BE A MINIMUM 16" X 24" WHEN THE OPENING IS THROUGH A PERIMETER WALL OR A MINIMUM 18" X 24" WHEN THE OPENING IS THROUGH A FLOOR.
- IF A DOOR / WINDOW DOES NOT HAVE A LETTER / NUMBER IT IS AN EXISTING DOOR / WINDOW TO REMAIN. SEE DOOR / WINDOW SCHEDULE @ SHEET A-5.0



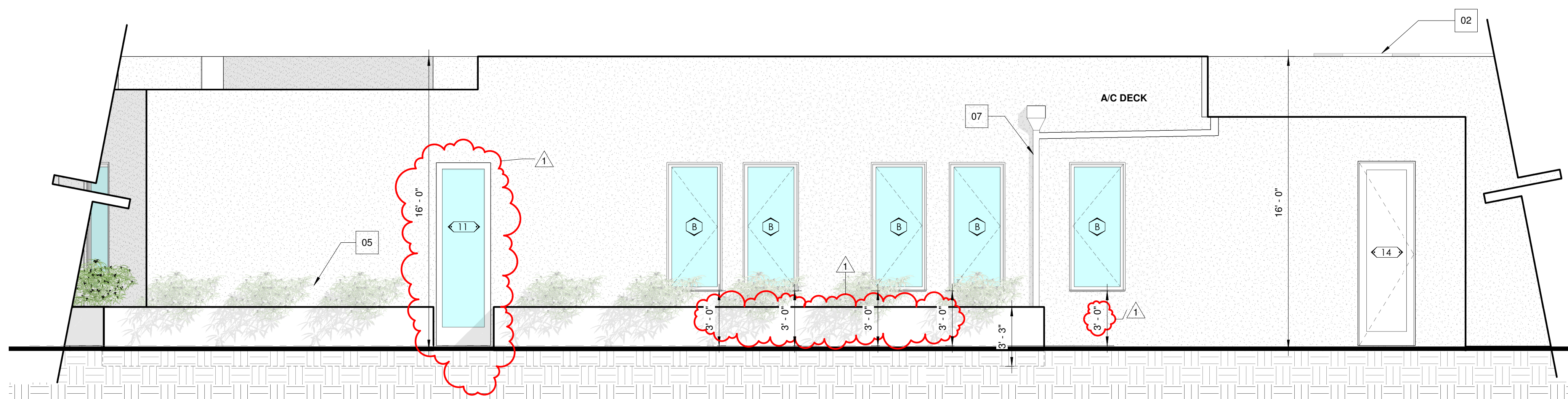
1 FRONT (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



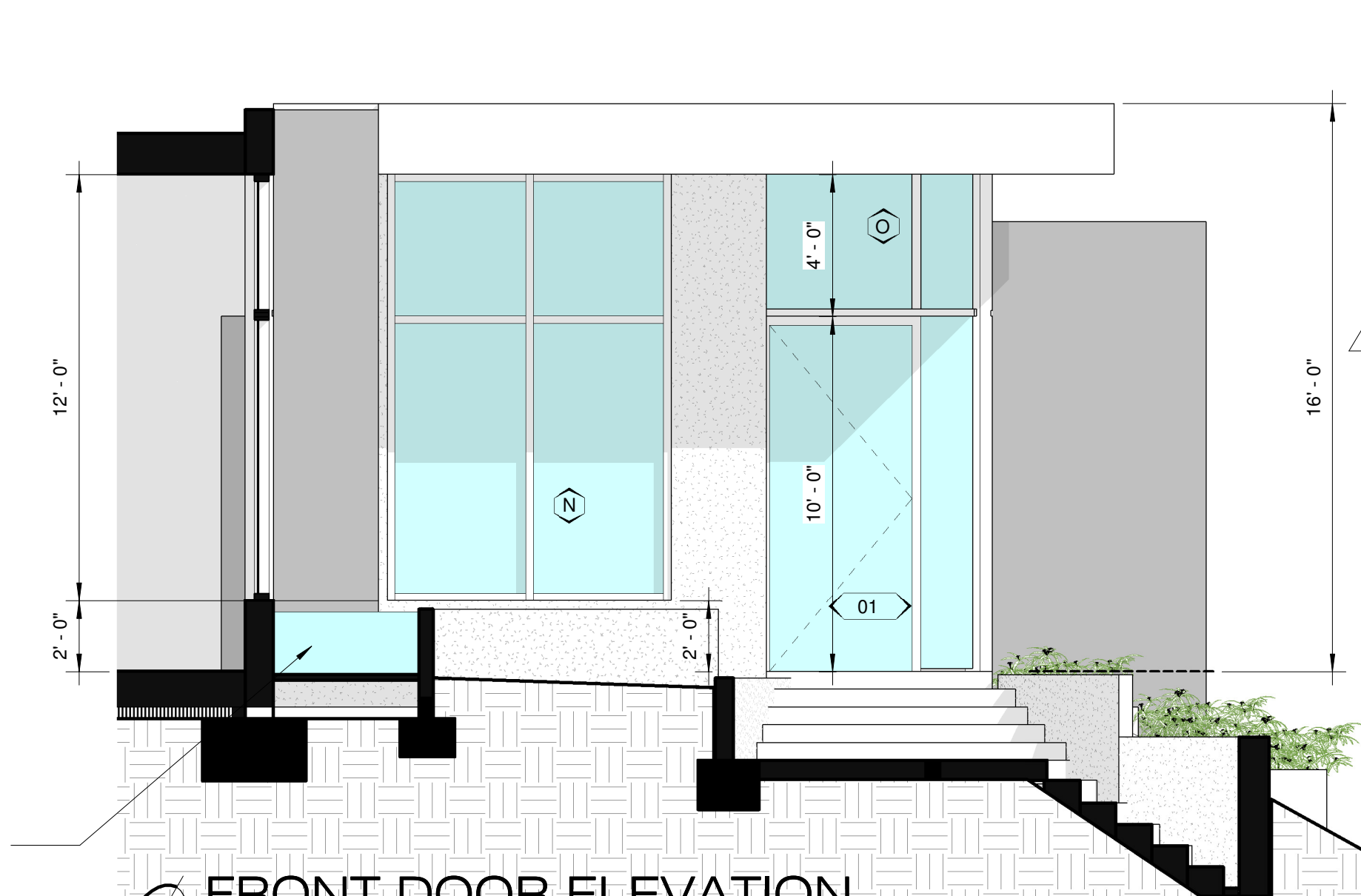
2 REAR (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"



4 SIDE - WEST ELEVATION

SCALE: 1/4" = 1'-0"



3 FRONT DOOR ELEVATION

SCALE: 1/4" = 1'-0"

Project Address & Owners:	
Residence 1730 N. RISING GLEN ROAD LOS ANGELES, CA 90069	
DATE :	BENCHMARK:
10 / 05 / 2017	RTI SET
11 / 07 / 2017	SUPPLEMENTAL
11/13/2017 4:49:02 PM	DATE PRINTED:
SHEET TITLE :	
ELEVATIONS	
SCALE :	As indicated
SHEET NO:	A-3.0



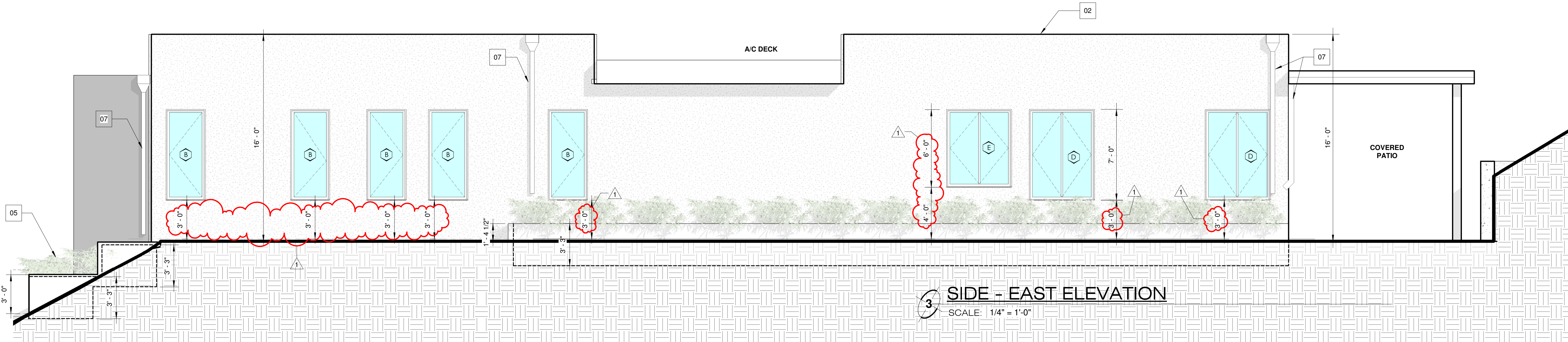
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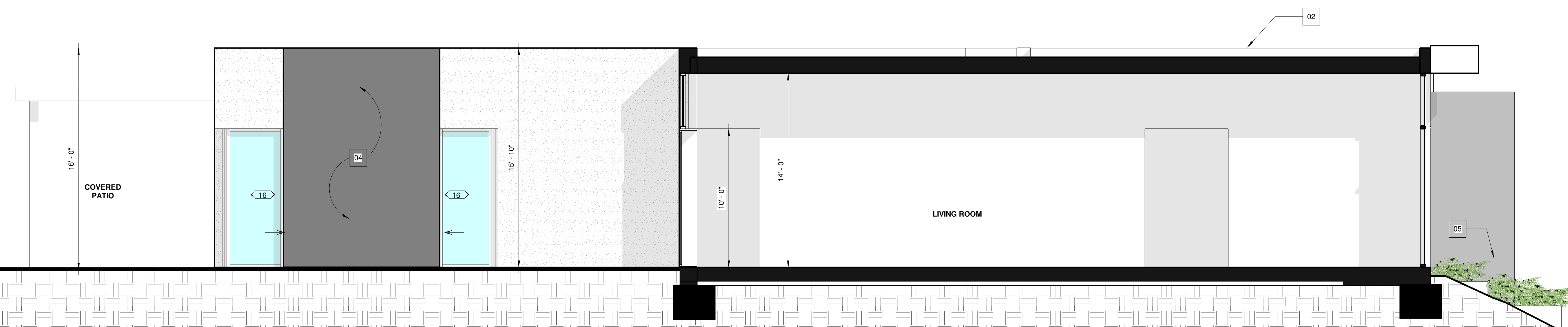
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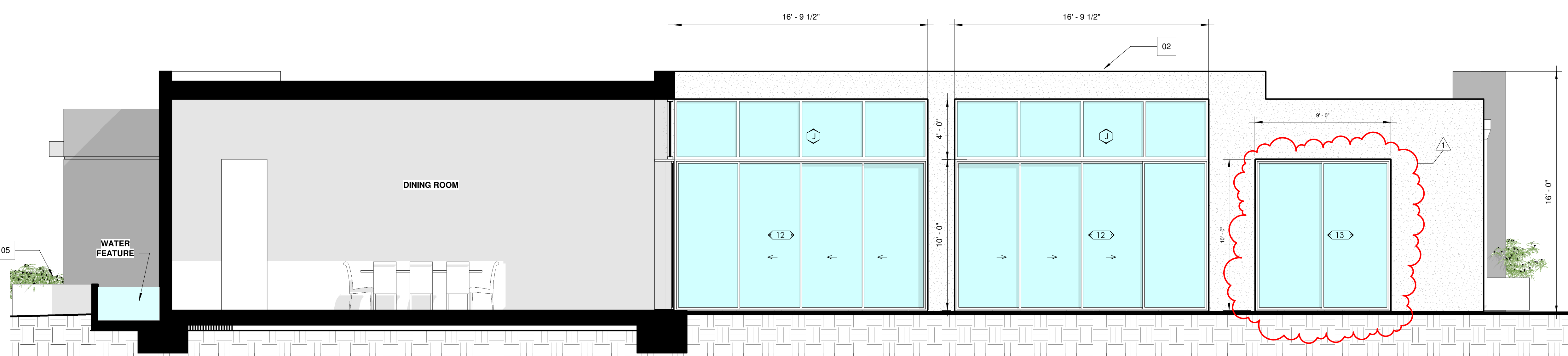
TITLE 24
NEWTON ENERGY
310.375.2699
newtonsenenergy@gmail.com



3 SIDE - EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 COURTYARD ELEVATION LOOKING EAST
SCALE: 1/4" = 1'-0"



1 COURTYARD ELEVATION LOOKING WEST
SCALE: 1/4" = 1'-0"

ELEVATION KEYNOTES

- 01 TORCH DOWN ROOFING (see sheet A-6.0 for ICC report & details)
- 02 16 FEET BUILDING MAXIMUM HEIGHT AS PER NEIGHBORHOOD COUNCIL REQUIREMENT
- 03 PARAPET WALL
- 04 DIRECT VENT FIREPLACE SEE SPECS ON A-6.0
- 05 PLANTER. SEE A-1.2 FOR DIAGRAM / DETAILS
- 06 LANDSCAPE
- 07 DOWNSPOUTS

GENERAL NOTES:

- 1. SEE TITLE 24 FOR ROOF & WALL INSULATION.
- 2. UNDER FLOOR ACCESS OPENING SHALL BE A MINIMUM 16" X 24" WHEN THE OPENING IS THROUGH A PERIMETER WALL OR A MINIMUM 18" X 24" WHEN THE OPENING IS THROUGH A FLOOR.
- 3. IF A DOOR / WINDOW DOES NOT HAVE A LETTER / NUMBER IT IS AN EXISTING DOOR / WINDOW TO REMAIN. SEE DOOR / WINDOW SCHEDULE @ SHEET A-5.0

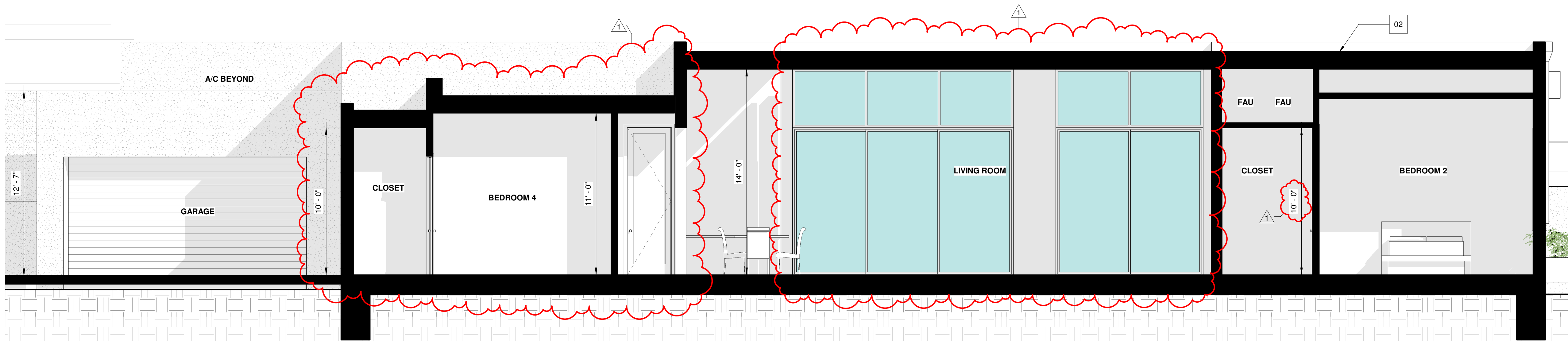
Project Address & Owners:
Residence
1730 N. RISING GLEN ROAD
LOS ANGELES, CA 90069

DATE :	BENCHMARK:
10 / 05 / 2017	RTI SET
11 / 07 / 2017	SUPPLEMENTAL
11/13/2017 4:49:09 PM	DATE PRINTED:

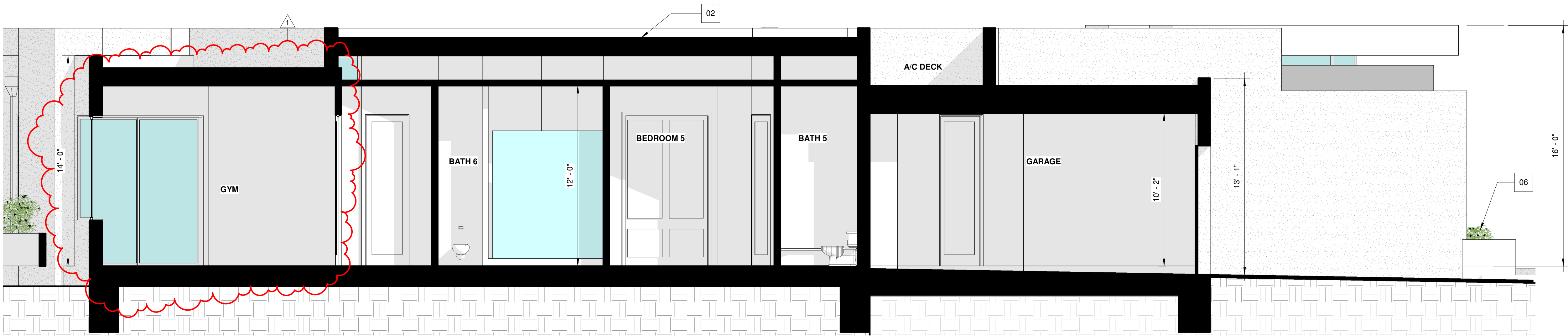
SHEET TITLE :
ELEVATIONS

SCALE :
As indicated

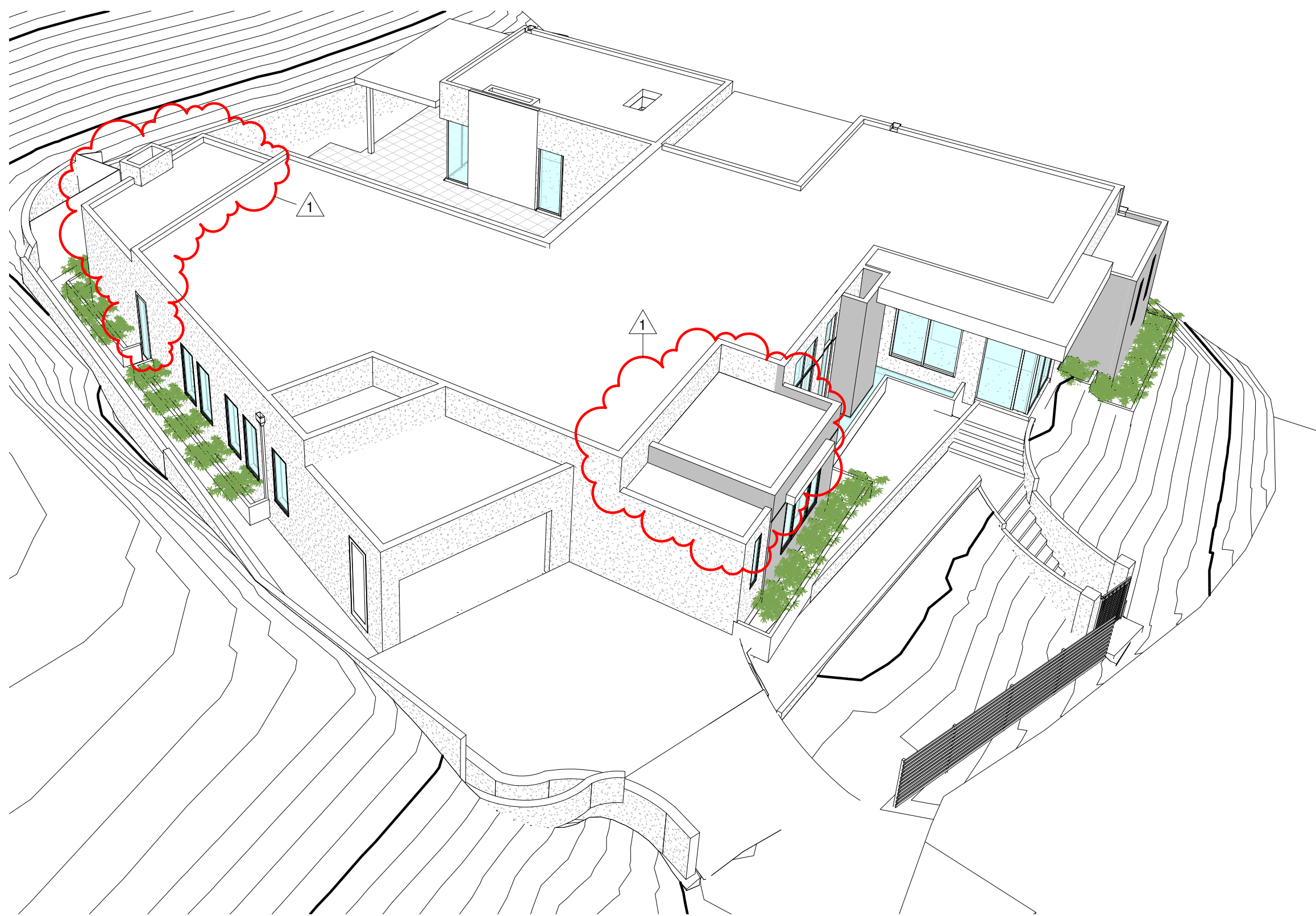
SHEET NO :
A-3.1



1 SECTION THRU LIVING ROOM
SCALE: 1/4" = 1'-0"



2 SECTION THRU GARAGE
SCALE: 1/4" = 1'-0"



3 ROOF
SCALE:

SECTION KEYNOTES

- 01 TORCH DOWN ROOFING (see sheet A-6.0 for ICC report & details)
- 02 FIREPLACE (SEE SHEET A-6.0 FOR SPECS)
- 03 PARAPET WALL (see sheet A-6.0 detail #1)
- 04 POOL UNDER SEPERATE PERMIT
- 05 SKYLIGHT
- 06 PLANTERS (SEE SHEET A-0.6 FOR DETAILS)

GENERAL NOTES:

- SEE TITLE 24 FOR ROOF & WALL INSULATION.
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PROJECT DIRECTORY:

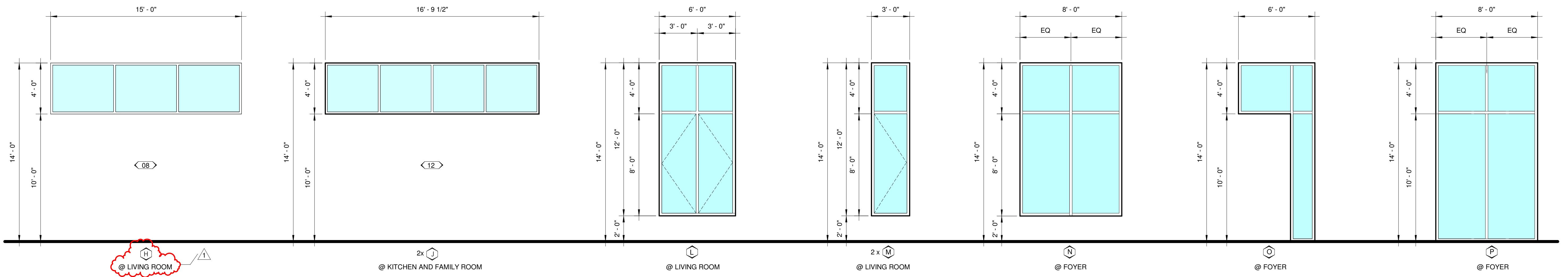
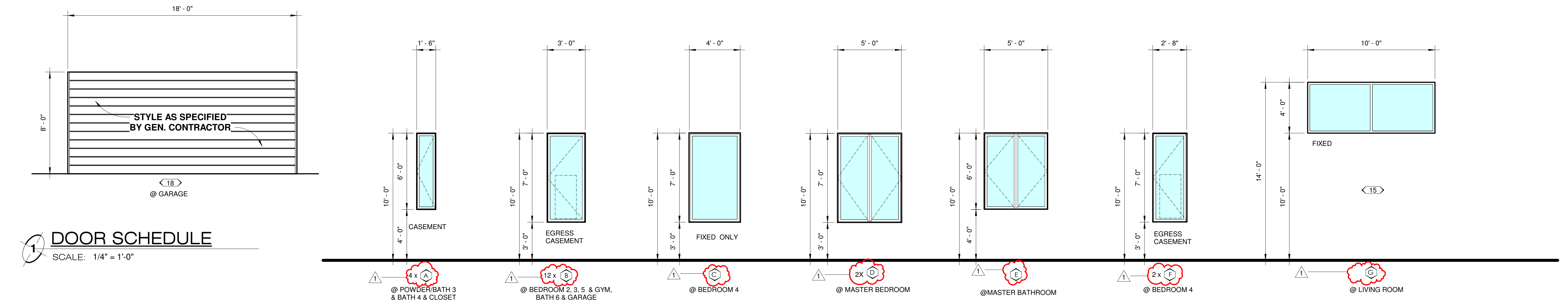
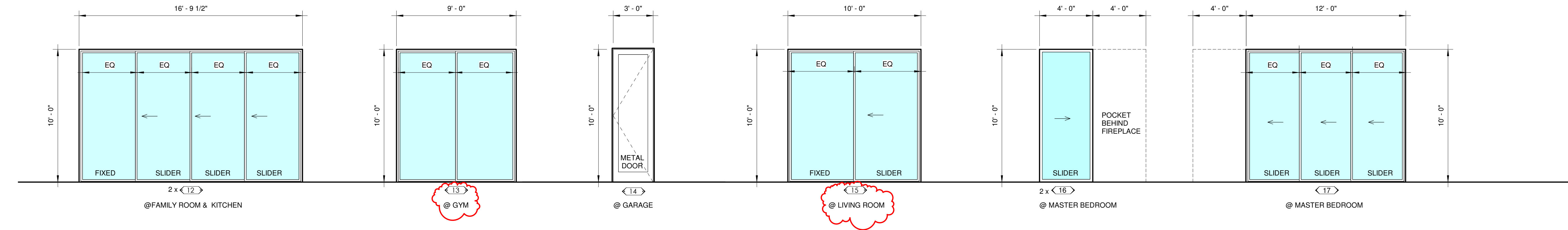
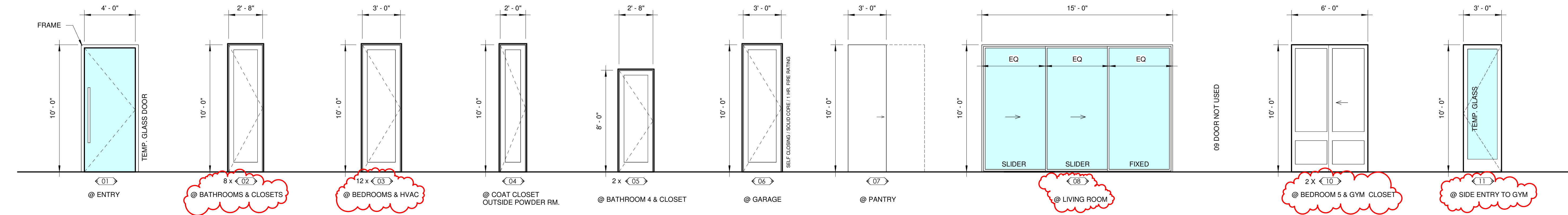
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CLIENT:

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11/13/2017 4:49:28 PM	DATE PRINTED:
SHEET TITLE :	
SECTIONS	
SCALE : As indicated	
SHEET NO:	
A-4.1	



DOOR SCHEDULE
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE
SCALE: 1/4" = 1'-0"



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SHEET TITLE:
DOOR / WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"

SHEET NO:
A-5.0